

ORDINANCE 2019 -18

**AN ORDINANCE OF NASSAU COUNTY, FLORIDA
REZONING APPROXIMATELY 85.7 ACRES OF REAL
PROPERTY LOCATED ON THE NORTH AND SOUTH
SIDES OF AMELIA CONCOURSE, EAST AND WEST OF
OLD NASSAUVILLE ROAD AND BETWEEN FRANK
WARD ROAD AND TERRA COTTA LANE, FROM OPEN
RURAL (OR) TO PLANNED UNIT DEVELOPMENT (PUD).
PROVIDING FOR FINDINGS; AND PROVIDING AN
EFFECTIVE DATE.**

WHEREAS, JOCO Amelia Company LLC and Nassau 1 Amelia LLC are the owners of five parcels identified as Tax Parcel #s 29-2N-28-0000-0004-0000, 29-2N-28-0000-0004-0010, 29-2N-28-0000-0004-0020, 29-2N-28-0000-0004-0030, and 32-2N-28-0000-0001-0040 by virtue of Deed recorded at O.R. 1961, page 1800 and O.R. 2222, pages 1055 and 1058 of the Public Records of Nassau County, Florida; and

WHEREAS JOCO Amelia Company LLC and Nassau 1 Amelia LLC have authorized Prosser, Inc. to file Application R18-003 to rezone the land described herein; and

WHEREAS, the Nassau County Planning and Zoning Board, after due notice conducted a public hearing on November 20, 2018 and voted to recommend approval of R18-003 to the Commission; and

WHEREAS, taking into consideration the above recommendations, the Commission finds that such rezoning is consistent with the 2030 Comprehensive Plan and the orderly development of Nassau County; and

WHEREAS, the proposed Planned Unit Development (PUD) zoning complies with the underlying Future Land Use Map (FLUM) designations of Low Density Residential (LDR), Medium Density Residential (MDR) and High Density Residential (HDR); and

WHEREAS, the Board of County Commissioners held a public hearing on June 10, 2019; and

WHEREAS, public notice of all hearings has been provided in accordance with Chapters 125 Florida Statutes and the Nassau County Land Development Code.

NOW, THEREFORE, BE IT ORDAINED BY THE BOARD OF COUNTY COMMISSIONERS OF NASSAU COUNTY, FLORIDA, AS FOLLOWS:

SECTION 1. FINDINGS.

That the proposed rezoning to Planned Unit Development (PUD) is generally consistent with the goals, objectives and policies of the 2030 Comprehensive Plan, in particular Policies FL.01.02 (B), FL.08.04, FL.10.06, ROS.01.04, ROS.01.07, ROS.01.09 and ROS.01.15.

SECTION 2. PROPERTY REZONED

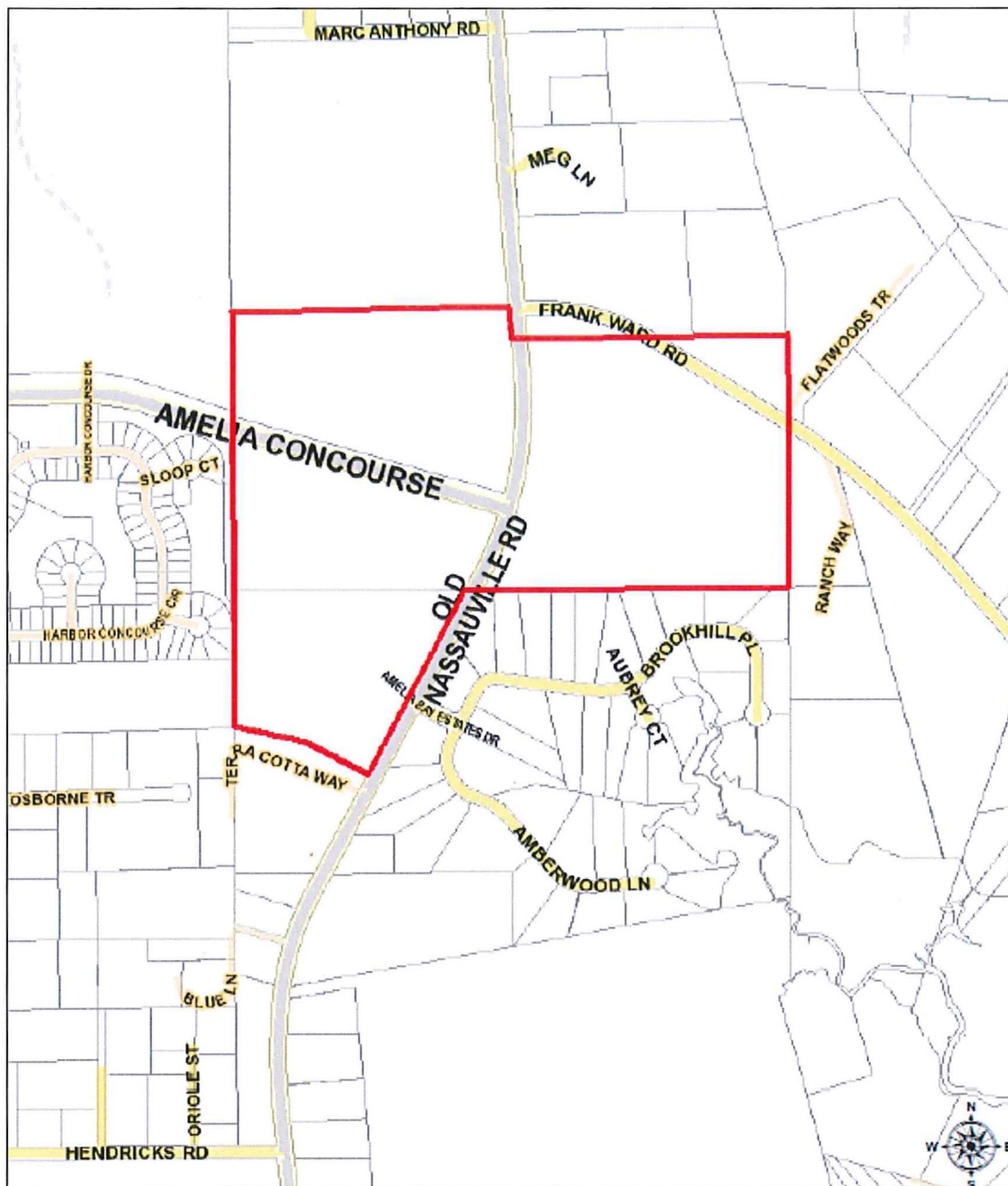
The real property described in Section 3 is rezoned and reclassified to Planned Unit Development (PUD), to be known as upon the effective date of the ordinance; the Growth Management Department is authorized to amend the Official Zoning Map to reflect this change.

- A) The Legal Description for the PUD is adopted as shown in Exhibit "A" attached herein.
- B) The Preliminary Development Plan (PDP) for the PUD and the conditions (development order) for the PUD are adopted as shown in Exhibit "B" attached herein.
- C) Letter to Michael S. Mullin from Emily G. Pierce dated May 20, 2019; cost estimates spreadsheet dated May 20, 2019; and the Nassau County Park Amenity Estimates study prepared by GAI Consultants, dated January 18, 2019 are adopted as shown in Exhibit "C" attached herein.

SECTION 3. OWNER AND DESCRIPTION.

The land reclassified by this Ordinance is owned JOCO Amelia Company LLC and Nassau 1 Amelia LLC and is identified by the following tax identification numbers, graphic illustration, and legal descriptions in Exhibit "A":

#s 29-2N-28-0000-0004-0000, 29-2N-28-0000-0004-0010, 29-2N-28-0000-0004-0020,
29-2N-28-0000-0004-0030, 32-2N-28-0000-0001-0030(portion)

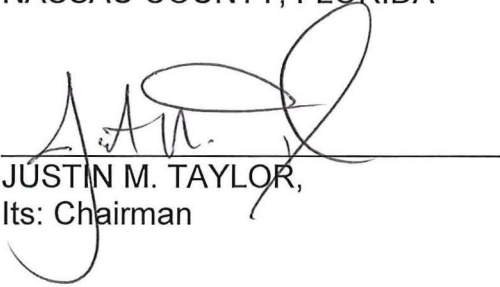


SECTION 4. EFFECTIVE DATE.

This Ordinance shall be effective upon filing with the Secretary of State.

PASSED AND ADOPTED THIS 24TH DAY OF JUNE, 2019.

BOARD OF COUNTY COMMISSIONERS
NASSAU COUNTY, FLORIDA


JUSTIN M. TAYLOR,
Its: Chairman

ATTEST as to Chairman's Signature:


JOHN A. CRAWFORD
Its: Ex-Officio Clerk

MES
06-27-19

Approved as to form and legality by the
Nassau County Attorney:


MICHAEL S. MULLIN,
County Attorney

EXHIBIT A**LEGAL DESCRIPTION**

PARCEL A: A PORTION OF SECTION 29, TOWNSHIP 2 NORTH, RANGE 28 EAST, NASSAU COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID SECTION 29; THENCE SOUTH 89°57'03" WEST, ALONG THE SOUTHERLY LINE OF SAID SECTION 29, A DISTANCE OF 2666.45 FEET TO THE WESTERLY LINE OF THE SOUTHWEST ONE-QUARTER OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 29; THENCE NORTH 00°04'25" WEST, ALONG LAST SAID LINE, 840.34 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF AMELIA CONCOURSE (A 100 FOOT RIGHT OF WAY, PER OFFICIAL RECORDS BOOK 897, PAGE 1417 OF THE PUBLIC RECORDS OF SAID COUNTY) AND THE POINT OF BEGINNING; THENCE CONTINUE NORTH 00°04'25" WEST, ALONG SAID WESTERLY LINE OF THE SOUTHWEST ONE-QUARTER OF THE SOUTHEAST ONE-QUARTER OF SECTION 29, A DISTANCE OF 461.43 FEET TO THE SOUTHERLY LINE OF THOSE LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 990, PAGE 1471 OF SAID PUBLIC RECORDS; THENCE NORTH 89°29'08" EAST, ALONG LAST SAID LINE, 1330.69 FEET TO THE WESTERLY RIGHT OF WAY LINE OF COUNTY ROAD NO. 107 (OLD NASSAUVILLE ROAD, A VARIABLE WIDTH RIGHT OF WAY, AS NOW ESTABLISHED); THENCE SOUTH 04°34'39" EAST, ALONG LAST SAID LINE, 102.87 FEET TO THE WESTERLY LINE OF THE NORTH 128.9 FEET OF THE EAST 1320 FEET OF GOVERNMENT LOT 4 OF SAID SECTION 29; THENCE SOUTH 00°26'17" EAST, ALONG LAST SAID LINE, 26.29 FEET TO THE SOUTHERLY LINE OF LAST SAID LANDS; THENCE NORTH 89°29'08" EAST, ALONG LAST SAID LINE, 1.90 FEET TO THE AFORESAID WESTERLY RIGHT OF WAY LINE OF COUNTY ROAD NO. 107; THENCE SOUTH 04°34'29" EAST, ALONG LAST SAID LINE, 152.62 FEET TO THE POINT OF CURVATURE OF A CURVE LEADING SOUTHERLY; THENCE SOUTHERLY, CONTINUING ALONG LAST SAID LINE AND ALONG AND AROUND THE ARC OF SAID CURVE, CONCAVE WESTERLY, HAVING A RADIUS OF 1722.95 FEET, AN ARC DISTANCE OF 574.13 FEET, SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF SOUTH 04°58'07" WEST, 571.47 FEET TO THE AFORESAID NORTHERLY RIGHT OF WAY LINE OF AMELIA CONCOURSE; THENCE NORTH 73°52'03" WEST, ALONG LAST SAID LINE, 1356.46 FEET TO THE POINT OF BEGINNING. **CONTAINING 20.397 ACRES, MORE OR LESS.**

EXHIBIT A

PARCEL B: A PORTION OF SECTION 29, TOWNSHIP 2 NORTH, RANGE 28 EAST, NASSAU COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID SECTION 29; THENCE SOUTH 89°57'03" WEST, ALONG THE SOUTHERLY LINE OF SAID SECTION 29, A DISTANCE OF 1556.90 FEET TO THE WESTERLY RIGHT OF WAY LINE OF COUNTY ROAD NO. 107 (OLD NASSAUVILLE ROAD, A VARIABLE WIDTH RIGHT OF WAY, AS NOW ESTABLISHED) AND THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 89°57'03" WEST, ALONG SAID SOUTHERLY LINE OF SECTION 29, A DISTANCE OF 1109.55 FEET TO THE WESTERLY LINE OF THE SOUTHWEST ONE-QUARTER OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 29; THENCE NORTH 00°04'25" WEST, ALONG LAST SAID LINE, 736.20 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF AMELIA CONCOURSE (A 100 FOOT RIGHT OF WAY, PER OFFICIAL RECORDS BOOK 897, PAGE 1417 OF THE PUBLIC RECORDS OF SAID COUNTY); THENCE SOUTH 73°52'03" EAST, ALONG LAST SAID LINE, 1327.32 FEET TO THE AFORESAID WESTERLY RIGHT OF WAY LINE OF COUNTY ROAD NO. 107 AND THE ARC OF A CURVE LEADING SOUTHWESTERLY; THENCE SOUTHWESTERLY, ALONG AND AROUND THE ARC OF SAID CURVE, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 1722.95 FEET, AN ARC DISTANCE OF 310.42 FEET, SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF SOUTH 23°00'07" WEST, 310.00 FEET TO THE POINT OF TANGENCY OF SAID CURVE; THENCE SOUTH 28°09'49" WEST, CONTINUING ALONG LAST SAID LINE, 91.98 FEET TO THE POINT OF BEGINNING. **CONTAINING 15.498 ACRES, MORE OR LESS.**

PARCEL C: A PORTION OF SECTION 32, TOWNSHIP 2 NORTH, RANGE 28 EAST, NASSAU COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 32; THENCE SOUTH 89°57'03" WEST, ALONG THE NORTHERLY LINE OF SAID SECTION 32, A DISTANCE OF 1556.90 FEET TO THE WESTERLY RIGHT OF WAY LINE OF COUNTY ROAD NO. 107 (OLD NASSAUVILLE ROAD, A VARIABLE WIDTH RIGHT OF WAY, AS NOW ESTABLISHED) AND THE POINT OF BEGINNING; THENCE SOUTH 28°09'49" WEST, ALONG LAST SAID LINE, 1037.45 FEET TO THE NORTHEASTERLY LINE OF AN INGRESS AND EGRESS EASEMENT AS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 377, PAGE 44 OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE NORTH 68°49'31" WEST, ALONG LAST SAID LINE, 657.30 FEET TO THE WESTERLY LINE OF THE NORTHWEST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER OF SAID SECTION 32; THENCE NORTH 00°30'52" WEST, ALONG LAST SAID LINE, 16.00 FEET; THENCE NORTH 00°35'29" WEST, CONTINUING ALONG LAST SAID LINE, 660.28 FEET TO THE AFORESAID NORTHERLY LINE OF SECTION 32; THENCE NORTH 89°57'03" EAST, ALONG LAST SAID LINE, 1109.55 FEET TO THE POINT OF BEGINNING. **CONTAINING 16.382 ACRES, MORE OR LESS.**

EXHIBIT A

PARCEL D: A PORTION OF SECTION 29, TOWNSHIP 2 NORTH, RANGE 28 EAST, NASSAU COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEAST CORNER OF SAID SECTION 29, ALSO BEING THE NORTHEAST CORNER OF AMELIA BAY ESTATES, AS RECORDED IN PLAT BOOK 7, PAGE 4 THROUGH 10, INCLUSIVE OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE SOUTH 89°58'33" WEST, ALONG THE NORTHERLY LINE OF SAID AMELIA BAY ESTATES, 1465.77 FEET TO THE EASTERLY RIGHT OF WAY LINE OF COUNTY ROAD NO. 107 (OLD NASSAUVILLE ROAD, A VARIABLE WIDTH RIGHT OF WAY, AS NOW ESTABLISHED); THENCE NORTHEASTERLY AND NORTHERLY, ALONG LAST SAID LINE, RUN THE FOLLOWING THREE (3) COURSES AND DISTANCES: COURSE NO. 1: NORTH 28°09'49" EAST, 428.02 FEET TO THE POINT OF CURVATURE OF A CURVE LEADING NORTHERLY; COURSE NO. 2: NORTHERLY, ALONG AND AROUND THE ARC OF SAID CURVE, CONCAVE WESTERLY, HAVING A RADIUS OF 510.46 FEET, AN ARC DISTANCE OF 291.70 FEET, SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF NORTH 11°47'35" EAST, 287.74 FEET TO THE POINT OF TANGENCY OF SAID CURVE; COURSE NO. 3: NORTH 04°34'39" WEST, 526.62 FEET TO THE SOUTHERLY LINE OF THE NORTH 128.9 FEET OF THE EAST 1320 FEET OF GOVERNMENT LOT 4 OF SAID SECTION 29, ALSO BEING THE SOUTHERLY LINE OF THOSE LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 1362, PAGE 1866 OF SAID PUBLIC RECORDS; THENCE NORTH 89°29'08" EAST, ALONG LAST SAID LINE, 524.16 FEET TO THE SOUTHWESTERLY RIGHT OF WAY LINE OF FRANK WARD ROAD (A 60 FOOT RIGHT OF WAY, PER RIGHT OF WAY SURVEY BY OLDE ISLE SURVEYING & MAPPING COMPANY, JOB NO. 97110); THENCE SOUTH 58°31'15" EAST, ALONG LAST SAID LINE, 797.48 FEET TO THE POINT OF CURVATURE OF A CURVE LEADING SOUTHEASTERLY; THENCE SOUTHEASTERLY, CONTINUING ALONG LAST SAID LINE AND ALONG AND AROUND THE ARC OF SAID CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 2926.05 FEET, AN ARC DISTANCE OF 43.59 FEET, SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF SOUTH 58°05'39" EAST, 43.59 FEET TO THE EASTERLY LINE OF SAID SECTION 29; THENCE SOUTH 00°26'16" EAST, ALONG LAST SAID LINE, 748.59 FEET TO THE POINT OF BEGINNING. **CONTAINING 30.861 ACRES, MORE OR LESS.**

EXHIBIT A

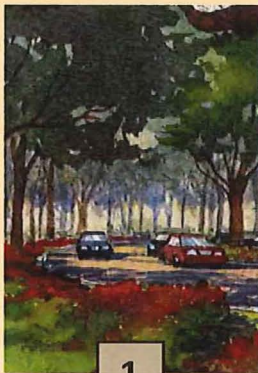
PARCEL E: A PORTION OF SECTION 29, TOWNSHIP 2 NORTH, RANGE 28 EAST, NASSAU COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID SECTION 29, ALSO BEING THE NORTHEAST CORNER OF AMELIA BAY ESTATES, AS RECORDED IN PLAT BOOK 7, PAGE 4 THROUGH 10, INCLUSIVE OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE NORTH 00°26'16" WEST, ALONG THE EASTERLY LINE OF SAID SECTION 29, A DISTANCE OF 819.65 FEET TO THE ARC OF A CURVE LEADING NORTHWESTERLY, ALSO BEING THE NORTHEASTERLY RIGHT OF WAY LINE OF FRANK WARD ROAD (A 60 FOOT RIGHT OF WAY, AS NOW ESTABLISHED AND THE POINT OF BEGINNING; THENCE NORTHWESTERLY, ALONG LAST SAID LINE AND ALONG AND AROUND THE ARC OF SAID CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 2986.05 FEET, AN ARC DISTANCE OF 6.02 FEET, SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF NORTH 58°27'47" WEST, 6.02 FEET TO THE POINT OF TANGENCY OF SAID CURVE; THENCE NORTH 58°31'15" WEST, CONTINUING ALONG LAST SAID LINE, 701.44 FEET TO THE SOUTHERLY LINE OF THOSE LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 1362, PAGE 1866 OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE NORTH 89°29'08" EAST, ALONG LAST SAID LINE AND ALONG THE SOUTHERLY LINE OF THOSE LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 510, PAGE 1110 OF SAID PUBLIC RECORDS, 600.49 FEET TO THE AFORESAID EASTERLY LINE OF SECTION 29; THENCE SOUTH 00°26'16" EAST, ALONG LAST SAID LINE, 374.83 FEET TO THE POINT OF BEGINNING. **CONTAINING 2.580 ACRES, MORE OR LESS.**

Concourse Crossing PUD

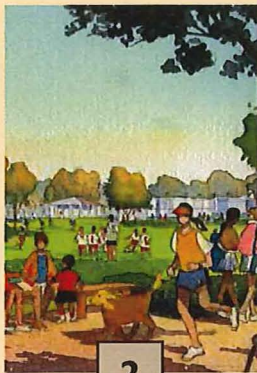
Prioritizing County Needs • Designing to Meet Them

EXHIBIT "B" Preliminary Development Plan and Narrative Description



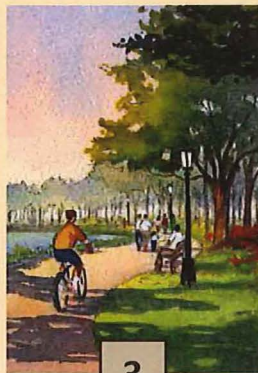
1

REGIONAL
TRANSPORTATION



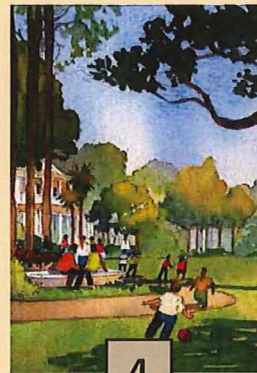
2

PUBLIC
RECREATION



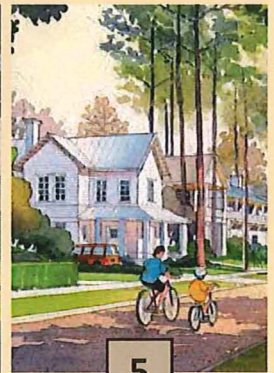
3

MULTI-USE PATHWAYS
NETWORK



4

NEIGHBORHOOD
PARKS



5

COMMUNITY
GUIDELINES

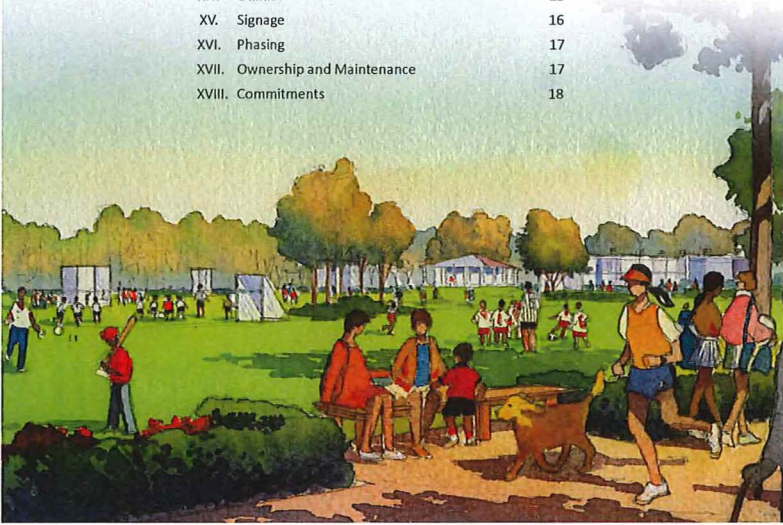
These five transformational cornerstones are the foundation for the future development of this dynamic new community. They will provide stability and support to Nassau County's efforts to offer a wonderful quality of life for its residents.

NASSAU I AMELIA, LLC

Revised June 12, 2019

CONTENTS

Consistency with 2030 Comprehensive Plan	1
I. Introduction	2
II. Intended Plan of Development	3
III. Community Guidelines	5-6
IV. Pedestrian and Vehicular Access	7
V. Temporary Uses	10
VI. Landscaping	10
VII. Lighting	10
Preliminary Development Plan	8-9
VIII. Public Recreation	11
IX. Multi-Use Trails Network	12
X. Conceptual Regional Trails Network	13
XI. Regional Transportation Improvements	14
XII. Stormwater Management	15
XIII. Wetland Buffers	15
XIV. Utilities	15
XV. Signage	16
XVI. Phasing	17
XVII. Ownership and Maintenance	17
XVIII. Commitments	18



Below are specific goals and strategies identified in the **2030 Comprehensive Plan** which will be implemented in the Concourse Crossing PUD:

POLICY FL.01.01

The County shall permit future development to proceed consistent with the land use categories, overlay districts, master land use plans, and other maps in the adopted Future Land Use Map Series. The Future Land Use Map Series in effect as of the 2002 EAR-based amendment adoption (DCA No. 01-1ER) shall remain in full force and effect except as specifically added, deleted, or modified herein.

OBJECTIVE FL.04

The County shall create land use policies for the avoidance and minimization of environmental damage while allowing appropriate new development through implementation of the following policies:

POLICY FL.04.05

The County shall control the number of septic tanks through permitting only the units approved by the County Health Department based upon their determination of the soils' ability to function as an acceptable drain field.

OBJECTIVE FL.08

The County shall direct development into patterns which will avoid the proliferation of urban sprawl.

POLICY FL.08.04

The County shall discourage Urban Sprawl by requiring higher density compact development to occur in areas that are planned to be served by public facilities, providing for sound and cost-efficient public facility planning. It will also require lower density development to occur in areas that are environmentally sensitive or in areas that are not planned to receive a high level of public facilities or services.

POLICY FL. 08.06

The Land Development Code shall provide incentives to encourage new residential and commercial development in rural and transitioning areas to accomplish the following:

- A) Develop in a pattern that is a logical extension of existing urban development patterns avoiding leapfrog or scattered development.
- B) Develop in clustered or nodal patterns, eliminating or reducing strip-style development along arterial and collector roads.
- C) Develop in a pattern that enhances the potential for the extension and maximization of central (regional) water and sewer systems.
- D) Contribute to the development of mixed-use communities that provide for integrated residential and employment opportunities; and provide for civic and public facilities including emergency medical, fire protection and police facilities, parks and other recreational facilities, schools, hospitals and other public or institutional uses.
- E) Minimize the potential impact of urban development on the agricultural productivity of the areas.
- F) Where appropriate, use enhanced standards to create urban-level infrastructure and design elements for new development, including but not limited to streets, stormwater management facilities, landscaping, and signage.

POLICY FL.09.05

The County shall evaluate development plans to ensure that open space is provided for recreation in all proposed residential or mixed use development projects in accordance with the established level of service.

POLICY FL.10.06

The Land Development Code shall promote the construction of master planned and mixed use developments by providing incentives such as density bonuses, flexible design standards and funding options for required infrastructure improvements.

Revised June 12, 2019

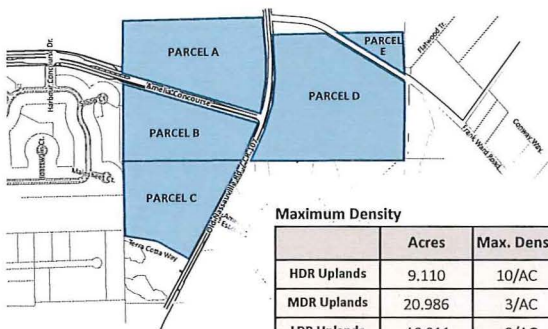
Revised June 12, 2019

I. INTRODUCTION

This application for rezoning of ±85.718 acres described on Exhibit "E" attached to the application ("the Property") is submitted by Prosser, Inc. as agent for JOCO Amelia Company, LLC and Legacy Baptist Church of Nassau County, Inc.

The Property is presently zoned Open Rural ("OR") with designations of Medium Density Residential (Parcels A and B) and Low Density Residential (Parcels C, D and E) on the 2030 Future Land Use Map. Prosser, Inc. has submitted a companion application for small-scale development (less than 10 acres) amendment seeking to change 9.11 acres within Parcel B from Medium Density Residential to High Density Residential. The Applicant/Developer requests that the entire Property be rezoned to Planned Unit Development ("PUD"). The allowable uses, density, and proposed development conditions and standards are described herein.

	FLUM	Total Acres	Upland Acres	Wetland Acres
Parcel A	MDR	20.397	15.319	5.078
Parcel B	HDR	9.110	9.110	0.000
Parcel B	MDR	6.388	5.667	0.721
Parcel C	LDR	15.382	13.770	1.612
Parcel D	LDR	30.861	29.661	1.200
Parcel E	LDR	2.580	2.580	0.000
Total		85.718	77.107	8.611



Maximum Density

	Acres	Max. Density	Units
HDR Uplands	9.110	10/AC	91.100
MDR Uplands	20.986	3/AC	62.958
LDR Uplands	46.011	2/AC	92.022
Wetlands	8.611	0.2/AC	1.7222
Total			247.8022

II. INTENDED PLAN of DEVELOPMENT

The Property may be developed with up to 247 detached single-family residential and/or attached single-family homes. The gross density of the Property will be 2.87 homes per acre (247 units divided by 86 total acres), within the permissible density of two (2) to three (3) units per acre in the Medium Density Residential future land use category. Home occupations in accordance with the provisions of Section 28.14 of the Nassau County Land Development Code ("LDC") shall be allowed by right within the Property.

- (1) In order to encourage a variety of home designs and lifestyles, the Property may be developed with both attached single-family structures, along with single-family lots having a minimum lot area of 4,000 or 5,000 square feet and a minimum lot width of 40 or 50 feet, respectively. The lot size for each phase of development will be as shown on the Final Development Plan for that phase, provided that, upon completion, no particular lot size shall comprise more than seventy percent (70%) of the total number of lots. A minimum 10-foot separation between detached single-family structures shall be maintained. No more than eight (8) attached single family units may be constructed without an open space separation of at least thirty (30) feet between structures.
- (2) Guest houses, accessory dwelling units, carriage houses, garage apartments may have a separate electric meter and water service but shall be maintained under unified ownership. It is encouraged that accessory dwelling units be utilized to accommodate multi-generational housing and diversity in housing stock. These units shall not count against the 247 permissible units.
- (3) Mobile homes and model homes shall be allowed as temporary uses for sales centers and construction offices until such time as all of the residential units have been constructed and sold.
- (4) Customary residential accessory uses and structures as defined in LDC Section 28.15 are permissible.

The following design standards are hereby established for single family residential homes for the Concourse Crossing PUD. In addition, Section III contains supplemental traditional neighborhood and streetscape design standards to distinguish this community from other residential neighborhoods in the vicinity.

	Detached	Attached
Minimum Lot Width	40 feet	18 feet
Minimum Lot Area	4,000 sq.ft.	1,800 sq.ft.
Maximum Building Height	35 feet	45 feet
Maximum Lot Coverage	65 percent	75 percent
Building Setbacks		
• Minimum Front Yard	20 feet	10 feet
• Minimum Second Front Yard (Corner Lots)	10 feet	—
• Minimum Side Yard	5 feet	0 feet (interior unit) 15 feet (exterior unit)
• Minimum Rear Yard	10 feet	10 feet
Single-Family Build-To Line (Porches and Entry Terraces)	10 to 14 feet	N/A
Minimum Off-Street Parking	2 Spaces Per Unit	

- (1) Building setbacks measured from the property line to the wall or foundation of the structure.
- (2) All screened pool enclosures, whether attached, semi-attached or detached from the principal building, shall not be located in any front yard and shall adhere to a minimum yard (building setback) of five (5) feet from the property line.
- (3) Eave encroachments up to eighteen (18) inches in all yards may be allowed. Decks and patios thirty-six (36) inches or less as measured from grade may be located in a required side or rear yard.
- (4) On-street parking allowed around attached single family Units.

The property immediately south of Parcel C is the future home of Legacy Baptist Church. The church will be permitted to utilize the pond at the southern end of the PUD for stormwater management. The church will be permitted to locate a sign identifying the church within the southwest quadrant of the Amelia Concourse/CR 107 intersection (see Section XV, Signage on page 16).

Revised June 12, 2019

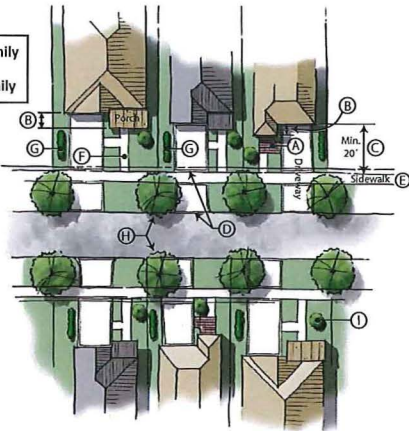
Revised June 12, 2019



III. COMMUNITY GUIDELINES
Traditional Neighborhood
and Streetscape
Design Standards

- (A)–(J) Detached Single Family
(K)–(N) Attached Single-Family

- A Porches and Entry Terraces**
Covered porches or entry terraces with trellises are required on all houses. Both shall be a minimum of six (6) feet in depth, sized to sufficiently accommodate seating for two or more people and located 10-14 feet from the front property line. Not more than 20% of the houses may have entry terraces. At least 80% of the houses are required to have covered porches.
- B Recessed Garages**
The community will be different than others by not allowing the garage to be the dominant feature of the styles of homes. At least 90% of all houses within the community must have garages recessed at least six (6) feet from the front façade of the house or from the covered porch columns. For homes where entry terraces are utilized instead of covered porches, the garages must be recessed at least six (6) feet from the front façade of the house.
- C Sufficient Driveway Depth for Parking Outside of Sidewalks**
Garage doors are required to be located at least twenty (20) feet from the closest edge of sidewalk to allow ample space for parked vehicles upon driveways without blocking the intersecting sidewalk. This will prevent obstacles that interrupt trips of passersby and avoid having pedestrians step into the road to circumvent parked vehicles.



"Troweled" Driveway



- D Driveway Finishes**
All vehicular driveways within the community shall be finished with a "troweled" edge in order to create an attractive pavement detail as well as recognize and maintain the importance of the intersecting sidewalks in order to reduce potential conflicts with pedestrians.
- E Sidewalks on Both Sides of Street**
In order to promote walkability and foster convenient and efficient pedestrian connections, the community shall contain sidewalks on both side of the street. All sidewalks shall be not less than five (5) feet in width so they can accommodate comfortable usage by people traveling in different directions.
- F Pedestrian Connections Between Homes and Sidewalks**
A traditional neighborhood design relies upon having strong pedestrian connectivity. Each house within the community shall have a walkway connection to the sidewalk. This will prevent residents from having to utilize vehicular driveways or cut through front lawns to gain access to sidewalks.
- J Architectural Variety**
To encourage greater variety and creativity, the community insists on certain architectural details to assure there is variation in the appearance of and relationship among the houses. More variety can lead to more attractive and distinctive neighborhoods and offer an identity for residents. The following design elements will be utilized within this community:
- Varying lot widths (not more than 70% of a single lot width).
 - Different color house than those on either side or directly across the street.
 - Reversing the house footprint/floor plan.
 - Different house model (no two adjacent lots with the same house model).
 - No two neighboring houses will have the same garage doors.
- G Landscaped or Decorative Fencing Screening Driveways**
All vehicular driveways shall be screened from adjacent properties with either a narrow strip of shrub plantings or decorative fencing that is twenty-four (24) to thirty (30) inches in height. This will help define the space with attractive screening.
- H Street Trees**
Street trees offer the community an attractive distinctiveness that provides shade and a distinct boundary of the public realm. All interior roadways will be lined with street trees such as live oaks generally thirty (30) to forty (40) feet on center, subject to location of utilities, driveways and safety factors. All street trees will be at least three (3) inch caliper at the time of installation.
- I Front Yard Trees**
To further differentiate this community from others and demonstrate the importance of trees to Nassau County's identity, every residential lot shall be required to plant at least one (1) medium-sized tree, minimum 3" caliper, in the front yard. These trees will offer shade, provide a natural refuge for birds and small wildlife, and buffer sound emanating from neighboring properties.
- Stucco facades are prohibited.
 - Color palette shall reflect the natural vernacular and/or colors that have historically been used in the area.
 - Prior to platting any portion of the PUD, the Developer shall consult with County Staff to ensure the project's theme and design are compatible and compliment the area.



Unless otherwise defined herein, individual properties shall adhere to the minimum landscaping requirements of LDC Section 37.05.

Revised June 12, 2019



III. COMMUNITY GUIDELINES (cont.)

Traditional Neighborhood and Streetscape Design Standards

(K)-(N) Attached Single-Family

(K) Architectural Variety

Buildings shall employ more than a single color application. Buildings shall employ more than a single material application. At least two different building types shall be included in projects with multiple buildings. Building types shall be differentiated through variations to building materials, color, rooflines, and the use of architectural features such as awnings, light fixtures and single-story eave details.

(L) Welcoming Building Fronts

Building entries should be the prominent feature of the front facade and identify access to individual units. Stoops or front porches, raised a minimum of one foot above the adjacent grade, may be provided at ground floor unit entrances that face a common open space area or other public space. Ground floor residential entries shall be sheltered from the rain and wind. Sheltering may be accomplished by recessing the entry a minimum of four (4) feet, or the construction of a roof or overhead architectural element.



(M) Massing, Articulation, and Proportion

Upper stories shall not project beyond the ground floor footprint, except for bays no wider than 50% of the primary facade. Bays shall be set within the main facade, not flush with side facades. The massing of upper stories, particularly those over a garage, shall be modulated by stepping back massing elements a minimum of two feet from the ground floor setback, and/or through the use of projecting bays. Building breaks shall be provided a minimum of every eight (8) units to allow for relief and landscape opportunities. Buildings shall be set back a minimum of ten (10) feet from the sidewalk of a public street. Units shall be organized around common open space to allow for high usability and sustainability.

(N) Architectural Detailing Highlighting Character and Quality

All facades should contain more than one finish material. All sides of a building shall include architectural detailing. Stucco-textured foam trim molding shall not be used as the only application to provide architectural detailing. Architectural detailing includes complimentary alternating colors, railings, trellises, trim, cornices, shingles or similar architectural elements.

Pedestrian-scaled lighting, less than 16 feet in height, shall be used to illuminate areas used for pedestrian circulation. All illumination shall be controlled with cutoffs that primarily direct light downward.

All units shall have covered porches. Front yard privacy should be achieved with low walls, landscape, fences, and appropriate placement of windows.



Revised June 12, 2019

IV. PEDESTRIAN and VEHICULAR ACCESS

- (1) Entry and egress to and from the Property will be provided as shown on the Preliminary Development Plan. Parcel A will be accessed from Amelia Concourse. Parcels B and C will be accessed from Amelia Concourse and Old Nassauville Road. Parcel B's entry/egress to Old Nassauville Road shall be aligned so to intersect with Amelia Bay Estates Drive immediately to the east. Parcel D will be accessed from a two-lane extension of Amelia Concourse.
- (2) Within Parcel A, the terminus of the cul-de-sac may be located closer than fifty (50) to Amelia Concourse so long as it is adjacent to an emergency access point with concrete surface not less than twenty (20) feet wide and capable of supporting emergency vehicle weighing up to 80,000 pounds. This emergency access point shall be secured with a gate with the lock combination/key provided to the Nassau County Fire Rescue.
- (3) The internal roadways will be approved by the Nassau County Engineering Services Department and constructed in accordance with the latest Nassau County Construction Details and Specifications, provided however, that cul-de-sacs that have twenty five (25) or less lots facing the cul-de-sac shall be allowed to be constructed within a right-of-way having a ninety foot (90') diameter and pavement with a radius of thirty feet (30').
- (4) The location of all external and internal project entrances, accesses and roadways may be changed based on environmental permitting and design factors so long as the access locations are in generally the same location. The Developer will finalize the location of all external entry and egress points during the final engineering approval for the applicable development phase.
- (5) Sidewalks within the Property shall be located in front of residential lots along both sides of all internal roadways and shall be a minimum of five (5) feet wide.
- (6) Each residential lot shall be provided access by public right-of-way, private vehicular or pedestrian way or commonly owned easement.
- (7) County-owned vehicles shall be permitted access on any privately-owned roads, easements and common open spaces in order to perform basic governmental services such as fire and police protection emergency service needs of PUD residents, and site inspection by County departments to monitor adherence to County regulations and the terms and conditions contained in this PUD.
- (8) Vehicular access to Frank Ward Road is prohibited.

Revised June 12, 2019

Revised June 12, 2019



Revised June 12, 2019

V. TEMPORARY USES

- (1) Temporary sales offices which may or may not act as model homes, including modular units, for the sale of the lots and/or completed residences, shall be permitted within the Concourse Crossing, Phase 1 until all of the residential lots and completed residences are sold. Not more than six (6) lots may contain temporary sales office/model homes at any one time. The Developer shall indicate the locations of temporary sales offices/model homes with a note on any site plan submitted to the Development Review Committee for approval.
- (2) Model home building permits will be issued upon installation of all necessary water mains and fire hydrants, stabilization of all roadways internal to the development, and recording of the plat.
- (3) The Developer, its designated successor or assign, will be required to maintain a copy of the approved Ordinance, including the Final Development Plan in any sales office located upon the Subject Property, which is available for inspection by project residents and landowners, including the posting for public viewing of the Final Development Plan in any sales office. This obligation shall be contained in the Covenants and Restrictions that are placed on the Property.
- (4) The siting of temporary construction trailers shall be allowed on the Subject Property during construction. The temporary construction trailers must be removed within thirty (30) days of completion of the improvements for which they are being utilized, provided the right to temporary construction trailers shall continue until build-out of the PUD.

VI. LANDSCAPING

- (1) Development within the Concourse Crossing PUD shall adhere to the landscaping standards provided in LDC Sections 37.05 and 37.06. In cases where there is a conflict between the LDC and this PUD, the PUD shall control. Final landscaping plans will be provided for individual development within the PUD during the Site Plan Review process.
- (2) Where possible and appropriate, landscaping should be native and wild in expression allowing the natural/native understory to flourish. Incorporating swaths of natural vegetation into a project design is encouraged. All landscaping shall have permanent irrigation.
- (3) The Developer shall provide a perimeter landscaping strip of pervious land adjacent and parallel to the Old Nassauville Road/CR 107 right-of-way line and Amelia Concourse right-of-way line having an average width of fifteen (15) feet and a minimum width of seven and one-half (7½) feet along the entire street frontage except for permitted driveways. This perimeter landscaping strip shall contain a minimum of three (3) canopy trees per one hundred (100) linear feet of property frontage. The trees shall consist of more than one species listed in LDC Section 37.05, Tables 37-1 or 37-2. Planted trees are not meant to be spaced evenly but rather randomly distributed by species within the largest open spaces.
- (4) The Applicant shall select street trees from among the list of species found in LDC Table 37-1, Nassau County Native Canopy Trees.

VII. LIGHTING

- (1) The lighting of public areas, including parking lots and public plazas, is important for the safety and comfort of the user. Lighting of public areas, should be designed to provide the minimum lighting necessary to ensure adequate vision and comfort while being arranged so as not to cause visual interference on public thoroughfares or encroach on the visual privacy of adjacent building occupants. This provision shall not apply to multi-use trails.
- (2) Lighting along sidewalks and on connections between developments and parking lots, and public rights-of-way shall be designed to provide for pedestrian safety. Lighting along sidewalks shall be not be in excess of sixteen (16) feet in height.
- (3) Lighting shall be shared or screened and positioned in such a manner as to minimize offensiveness to neighboring property. Final lighting plans shall be certified by a registered architect or registered engineer as providing illumination in accordance with the applicable minimum standards provided in this PUD. Final lighting plans for individual development parcels shall be submitted during the Site Plan review process, pursuant to LDC Section 27.10.

Revised June 12, 2019

VIII. PUBLIC RECREATION

Great Spaces

The PUD's three neighborhood parks and conservation areas provide **intrinsic environmental, aesthetic, and recreation benefits to the community.** The parks provide space for neighborhood residents to interact with each other and meet new people. They're also great spaces for special events and for people to engage in recreational activities. This allows people to develop a sense of community. The PUD's neighborhood parks are perfect for a picnic, kicking around a ball, learning to ride a bicycle, or simply spreading out a blanket to relax and enjoy a pleasant afternoon. The PUD's neighborhood parks will be open to the public between the hours of 8:00 AM and 7:00 PM.



Neighborhood Park Elements

- Picnic Tables
- Benches
- Sidewalks
- Covered Pavilion
- Lawn Area
- Lighting
- Planting



Neighborhood Parks (Conceptual)

All recreational facilities shall meet the requirements of the Florida Accessibility Code for Building Construction and ADA Standards for Accessible Design. The County requires private developers to build, maintain, and ensure public community parks are constructed and maintained upon privately-owned property. In lieu of providing public recreation within the PUD, the Applicant, its successors or assigns, shall provide Nassau County a payment consistent with the Nassau County Park Amenity Estimates study prepared by GAI Consultants and dated January 18, 2019. The referenced GAI Consultants study is found to contain fair and reasonable technical requirements and estimates for public recreation facilities based upon Nassau County Comprehensive Plan Policies ROS.01.07, ROS.01.09 and ROS.01.15.

Recreation Amenities: A payment of \$362,535.41 (no furnishings) shall be made to mitigate for construction of recreation amenities as guided by Policy ROS.01.09 of the Nassau County Comprehensive Plan and the Nassau County Park Amenity Estimates study prepared by GAI Consultants dated January 18, 2019. Land Dedication: A payment of \$280,575.58 (8.26462 acres x \$33,949.00) shall be made to mitigate for the dedication of land as required to meet the adopted levels of service (LOS) defined in policy ROS.01.04. The payment for land dedication was calculated by multiplying the per acre land value of the Concourse Crossings development site by the adopted acreage LOS standard defined in Policy ROS.01.04. The per acre value of the Concourse Crossing Development site was determined by Florida certified land appraiser Jason Lovett, MAI, State Certified Real Estate Appraiser, FL No. RZ2681 on May 10, 2019. The payment shall be made in a form acceptable to the County Attorney. The payment shall be made prior to approval of the first building permit for vertical construction. The County shall utilize these payments for recreation improvements made available to the general public described within the Recreation Master Plan as amended from time to time, and/or Five-Year Capital Improvements Plan, as amended from time to time. The Applicant/Owner may be eligible to receive Recreation Impact Fee credits for contributions made pursuant to this PUD, subject to the Nassau County Comprehensive Impact Fee Ordinance, Ord. 2016-02, as amended from time to time.

Revised June 12, 2019

The Applicant, its successors or assigns, shall reserve a 60-foot-wide right-of-way ("ROW") sufficient for an access road that connects Old Nassauville Road/CR 107 with the PUD's western perimeter for ten (10) years from the date of this PUD ordinance's adoption. This ROW connection supports the conceptual regional trails network detailed in Section XII. The general location of this reserved ROW is illustrated on Exhibit "C", the Preliminary Development Plan. The Applicant, its successors or assigns, shall cause the reserved ROW to be conveyed or dedicated by plat to Nassau County within six (6) months of a written request from the County Manager. If the 10-year reservation period expires without notification from the County Manager as to the reserved ROW, then this ROW reservation shall no longer be necessary and the property retained by the Applicant, its successors or assigns for use as passive open space within the PUD.

Revised June 12, 2019

X. CONCEPTUAL REGIONAL TRAILS NETWORK

The multi-use trails shall be eight (8) to ten (10) feet in width with a two-foot-wide clear zone on either side designed and constructed with a stabilized subbase and wearing surface of either asphalt or concrete for recreational use by hikers, pedestrians and bicyclists with and without physical disabilities. A typical cross section of the multi-use trail is illustrated on page 12. It shall be composed of firm and stable materials such as, but not limited to, crushed rock or limestone which compacts well and provides good drainage. The wearing surface, base, or sub-base for the non-paved trails shall be defined in the engineering plan approval process.

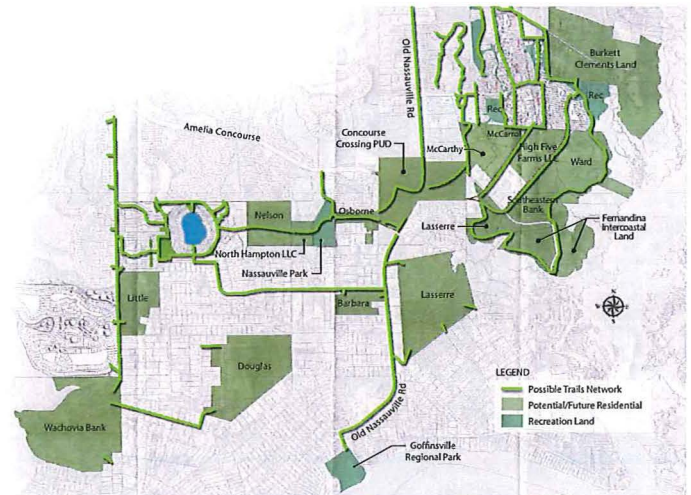
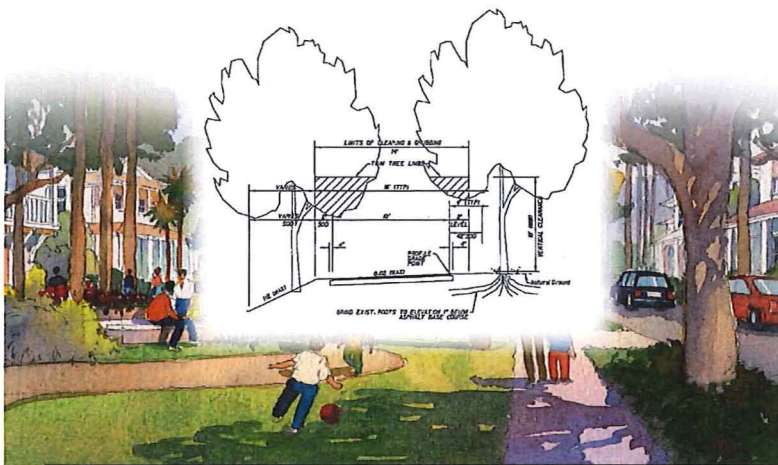
The entire trails network located within the PUD does not have to be ADA-accessible, so long as a continuous route through the entire PUD is ADA accessible (constructed with stabilized, compact, non-slip material). The Director of Public Works may approve an alternative sub-base standard if deemed appropriate. Nassau County will coordinate with private landowners and other governmental agencies and utility providers to facilitate the construction of the trails network beyond the boundaries of the Concourse Crossing PUD.

IX. MULTI-USE TRAILS NETWORK

Introduce Connectivity

The PUD provides the inaugural links of a regional network of multi-use trails that traverses the various neighborhoods and recreational lands located south of Amelia Concourse (see Section X on next page). **The Applicant shall be responsible for constructing the multi-use trails located within the PUD boundary in accordance with the cross section depicted below.** All segments of the multi-use trails network shall be open to the public. In addition to the recreational or environmental aspects of such a network, this system can provide Nassau County residents public health, economic, and transportation benefits, to say nothing of providing the County pride and identity.

This network will create healthy recreation and transportation opportunities by providing people of all ages with attractive, safe, accessible and low- or no-cost places to cycle, walk, hike, or jog. Public health benefits include helping people of all ages incorporate exercise into their daily routines by connecting them with places they want or need to go without having to use A1A.



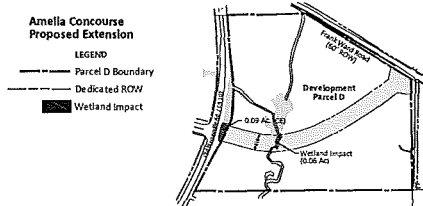
Revised June 12, 2019

Revised June 12, 2019



XI. REGIONAL TRANSPORTATION IMPROVEMENTS

- (1) The County has long sought an east-west alternative roadway to A1A. A dedicated right-of-way and construction extending Amelia Concourse from Old Nassauville Road/CR 107 would be helpful in establishing a future east-west alternative. In this regard, the Applicant, its successors or assigns, shall cause to be dedicated to Nassau County a **110-foot-wide right-of-way ("ROW")** sufficient for a **four-lane divided urban section** of Amelia Concourse from Old Nassauville Road/CR 107 to the eastern perimeter of the PUD. The 110-foot-wide ROW as depicted herein shall be dedicated to Nassau County via an instrument approved by the County Attorney upon the earlier of (a) prior to approval of the first Final Development Plan, or (b) within 180 days of a written request made by the County Manager for the ROW to be dedicated.



- (2) Additionally, the Applicant will construct a two-lane roadway and sidewalk on the north side of the road within the dedicated ROW from CR 107 approximately 1,250 feet east including construction of a signalized intersection with turn lanes at CR 107 and Amelia Concourse. Instead of a sidewalk on the south side, the Applicant will construct a ADA accessible multi-use trail along the dedicated ROW. The turn lanes will be constructed in accordance with a Concourse Crossing Traffic Study for the entrances on Old Nassauville Road and Amelia Concourse. The Traffic Study will accompany engineering plans for Parcel D and specify the turn lanes to be constructed. The Applicant will also provide all stormwater retention and wetland mitigation required for the new roadway.
- (3) Parcel D access will be at the existing 3-way signal controlled intersection. The extension of Amelia Concourse will add a fourth leg to this intersection. The intersection improvements to be constructed by the Applicant include any needed guard rails, repurposing of the existing southeastern mast arm and replacing it if necessary, adjusting the signal timing, adding a southbound left turn lane and a northbound right turn lane, unless the County Public Works Department determines the northbound turn lane is not warranted due to lack of anticipated utilization. The design of roadway, signalization, and turn lanes shall be reviewed and approved by the Public Works Department.
- (4) The Amelia Concourse extension shall be commenced within six (6) months of County approval of engineering plans for any portion of Development Parcel D and completed within two (2) years of commencement. "Commencement" shall be defined as actual physical construction under approved construction plans for a two-lane facility. "Completion" shall be defined as submittal of documents in accordance with Section 5.9.3, Nassau County Ordinance 99-17. Also, prior to issuance of building permits for vertical construction within Development Parcel D (except construction trailers and model homes), the Developer, his successors or assign, will provide financial assurance to Nassau County in the form of a bond, letter of credit, or three party agreement that the improvement will be completed within two years of commencement. **The Applicant expects to receive a credit against mobility fees for their conveyance of the Amelia Concourse right-of-way and roadway improvements described above which will be transferred to the homebuilder with the approval of the County.**
- (5) The construction of the two-lane extension of Amelia Concourse will require wetland impacts. The Applicant, its successors or assigns, shall be responsible for mitigating any wetland impacts within the PUD boundary associated with the roadway extension.

- (6) To assist the County with release of a Conservation Easement FDOT placed within the CR 107 right-of-way, the Applicant, its successors or assigns, shall provide Nassau County with sufficient replacement mitigation land located east of CR 107 **in return for the County securing release of that portion of the Conservation Easement (approx. 0.09 acres) within CR 107 right-of-way sufficient to accommodate the Amelia Concourse extension.** The mitigation land necessary for release of the Conservation Easement shall be conveyed by the Applicant, its successors or assigns to Nassau County **free of charge.**

XII. STORMWATER MANAGEMENT

- (1) The development of the Property shall meet all applicable requirements of the St. Johns River Water Management District and Nassau County. The retention areas and other elements of the drainage system outside the road rights-of-way serving the Property will be maintained by a property owners' association and will be subject to appropriate easements prohibiting construction of accessory uses that would interfere with drainage or maintenance.
- (2) All St. Johns River Water Management District and Nassau County permits for stormwater facilities shall be obtained by the Developer prior to Final Development Plan approval.
- (3) The western portion of the PUD contains a 30' drainage easement and retention pond that Nassau County maintains. The Applicant shall alleviate Nassau County of responsibility for maintenance of the drainage easement and that pond. The Applicant, its successors or assigns, shall include the pond within the PUD's stormwater management system and shall be responsible for maintaining the stormwater runoff from Amelia Concourse onto the PUD.
- (4) The Applicant, its successors or assigns, will work with the Nassau County Public Works Department to demonstrate how the functionality of the drainage easements and joint use pond on Parcel C will be handled during the development of the site engineering plans.

XIII. WETLAND BUFFERS

- (1) The wetlands on the site will be managed subject to an Environmental Resource Permit from the St. Johns River Water Management District and Individual Permit from the U.S. Army Corps of Engineers. Existing contiguous wetlands located within Parcel A that will remain undisturbed will be protected by an upland buffer as required by the Nassau County requirements in effect at the time of construction plan approval. All wetland areas and buffers shall be identified on the Final Development Plan(s). The Applicant/Developer may use the wetlands within the Conservation Areas as wetland mitigation for the PUD, provided however, that any conservation easement placed over the wetlands shall allow a nature pathway or boardwalk through the wetlands.
- (2) An average twenty-five (25)-foot-wide undisturbed upland buffer (minimum width of fifteen (15) feet) will be maintained around all contiguous wetlands on the PUD. The upland buffer shall be measured landward of from the state wetland jurisdictional line. This upland buffer is to remain in a natural vegetated state and be located within a tract separate from any residential lot.
- (3) The exact boundaries of wetlands and upland buffers indicated on the Preliminary Development Plan will be subject to a final determination on the final engineering plans consistent with the requirement above. If the buffer requirements of the Nassau County Comprehensive Plan are revised to be less restrictive prior to approval of the Final Development Plan, the Developer may provide the newly defined upland buffer by administrative amendment so long as the buffer conforms to all federal, state and local regulations.

XIV. UTILITIES

Underground water and sewer service will be provided by JEA. Underground electric service will be provided by Florida Power & Light. Fire hydrants will be located on final development plans and will be constructed in accordance with applicable County and JEA requirements. All utilities shall be placed underground. The Developer shall coordinate mail kiosk locations with the Post Master Development Review Committee when designing the Final Development Plans.

Revised June 12, 2019

Revised June 12, 2019

XV. SIGNAGE

- (1) The location of signage shall be delineated on the site plan(s) submitted to the Development Review Committee for approval. Possible locations for project identification signage are illustrated on Exhibit "C". No sign or gateway feature can be constructed until a unified signage plan has been submitted and reviewed by Nassau County.
- (2) Concourse Crossing may contain single-faced or double-faced project identification signage at all vehicular access points to the Subject Property located on Amelia Concourse and Old Nassauville Road. These signs may be located on each side of the access road and/or within the median, not to exceed a total number of seven (7) project identification signs for the entire PUD. Each sign face of these project identification signs shall not exceed one hundred fifty (150) square feet and a maximum height of fifteen (15) feet. Project identification signs may be designed as ground-mounted signs or integrated into or mounted on architectural features such as walls and fences.
- (3) Neighborhood parks may also contain identification signage. Each sign face of these recreational area signs shall not exceed fifty (50) square feet and a maximum height of eight (8) feet. Recreational area identification signs may be designed as ground-mounted signs or integrated into or mounted on architectural features such as walls and fences.
- (4) Traffic and street name signage may include aesthetic framing; however, any applicable Nassau County standards for safety, sign face, elevations, etc. shall be maintained by the Developer and/or homeowners association as appropriate.
- (5) There is no other specific reserved signage approvals requested for Concourse Crossing, provided home occupations shall be allowed signage in accordance with the Nassau County LDC.
- (6) All neighborhood parks will be identified by a sign identifying rules for use by the public. The sign will identify the park being open to the public between the hours of 8:00 AM to 7:00 PM.
- (7) Trails will be marked in the same manner as publicly accessible trails in the County. Multi-use trails shall be clearly marked with easily legible signs with a reflective finish to ensure they are visible day and night. Graphic symbols and text will convey the trails are open to the public.
- (8) After the turn lane and signalization improvements specified in Section XI(2) are completed, the Applicant will be responsible for constructing three (3) Concourse Gateway monuments to be located on three of the four corners of the intersection. Construction shall commence within one (1) year after completion of those improvements. The design, theme, and materials of the three (3) Concourse Gateway monuments shall be reviewed and approved by the Planning and Economic Opportunity Department ("PEO").
- (9) The gateway monuments shall be freestanding architectural structures that will be appropriate and compatible with the Concourse Crossing neighborhood as well as the historically accepted architectural vernacular of the surrounding community. They shall require low or no maintenance being composed of materials that are durable for the projected life span of the project. These monuments may include the officially adopted seal or slogan of Nassau County. Gateway Monuments may be located on private property or the right-of-way and must be located outside of the safety clear zone.



Conceptual Gateway Monuments

- (10) One (1) single-faced or double-faced church identification sign may be located within the PUD identifying the place of worship planned immediately south of the PUD. This sign may be located within the southwest quadrant of the intersection of Amelia Concourse and Old Nassauville Road. Each sign face of this church identification sign shall not exceed thirty-two (32) square feet and a maximum height of fifteen (15) feet. Sign materials will complement the style and theme of the Concourse Gateway monuments; therefore, the church sign will not be allowed until the gateway monuments' design, theme, and materials are approved by the PEO.

XVI. PHASING

- (1) Within one (1) year after approval of the PUD, the Developer must submit a Final Development Plan to the Planning and Zoning Board for review and to the Board of County Commissioners for approval. If the Developer fails to submit a FDP within one (1) year and has not been granted an extension, the approved Preliminary Development Plan (pages 8 and 9) shall be revoked, and the Subject Property shall revert to its previous zoning classification.
- (2) The project is divided into three phases. Permitting and physical development within each phase may occur as market conditions dictate; however, a subsequent Phase may not commence until the preceding Phase is at least 50% complete. The development of the Property will occur in several construction phases over not more than twenty (20) years. Construction shall commence no later than three (3) years from the date of County Commission approval of the PUD.

Phase	Years	Parcel	Use	Units	Cumulative
I	2019-2027	B and C	Detached Single Family	75	75
		B	Attached Single-Family	38	113
II	2028-2030	A	Detached Single-Family	30	143
III	2031-2039	D	Detached Single-Family	104	247

- (3) Construction shall be completed in accordance with the applicable expiration date(s) of construction plan approvals, which may be extended upon County Staff approval consistent with applicable provisions of the Nassau County Land Development Code.
- (4) "Commencement of construction" shall be deemed to have occurred upon final construction plan approval for horizontal improvements. "Completion of construction" is defined as submittal of documents in accordance with Section 5.9.3, Nassau County Ordinance 99-17. The construction commencement and/or completion dates contained herein may be extended upon approval by County Staff.

XVII. OWNERSHIP and MAINTENANCE

- (1) Any common areas associated with the Concourse Crossing PUD (e.g., amenities, recreation/open space areas, signage, landscaping, stormwater ponds, etc.) will be managed through a homeowners association.
- (2) Any Covenants and Restrictions for the PUD shall run with the land in order to protect both present and future property owners. The deed restrictions created by the Covenants and Restrictions shall prohibit the partition of any open space areas. The potable water/sanitary sewer improvements will be the responsibility of the private utility provider.
- (3) The ponds and other features of the stormwater water management system installed to comply with the requirements of the St. Johns River Water Management District shall be maintained by a mandatory property owner's association.
- (4) The mandatory property owner's association shall have the power to assess residents of the proposed development and will be controlled by the Applicant/Developer, until the last lot is purchased or as otherwise determined by Florida Statutes. Each lot owner shall be required to be a member of the association and to pay assessments.
- (5) Each lot owner shall be required to pay an annual assessment to the Amelia Concourse MSBU. This assessment shall be identical to that assessed to other neighborhoods located along Amelia Concourse.
- (6) The property owner's association shall maintain project signage, any common landscaping, the multi-use pathway and recreational areas located within the PUD. Areas which are to be maintained by the property owner's association will be specifically identified in Final Development Plans.
- (7) Subdividing common open space to individual property owners for private enjoyment is prohibited. The Applicant/Developer reserves the right to place one or more conservation easement(s) over any wetland/upland buffer area.
- (8) The areas depicted as "Conservation Area" on Final Development Plans, including but not limited to the wetland preservation areas and wetland mitigation areas, shall be permitted to be used for passive recreational activities. Multi-use trails will be constructed in and through these areas subject to applicable wetland permitting and other governmental agency permitting. The exact boundaries of all such areas shall be established on the Final Development Plans for each phase or increment of development.
- (9) The Amelia Concourse Extension will be a County-maintained facility. The Applicant and County may enter into mutually agreed upon maintenance agreement for aesthetic enhancements along the corridor.

XVIII. COMMITMENTS

Item	Category	Developer Commitment	Due Date
1	Recreation	Community Park Contribution	Prior to 1st building permit for vertical construction
2	Recreation	Dedication of 60' ROW within Parcel C (connection to future recreation)	Within 6 months of written request from County Manager if made within 10 years of PUD adoption
3	Recreation	Multi-use trails	With adjacent construction in each phase
4	Recreation	Parcel A Neighborhood Park	Prior to construction of half Parcel A units
5	Recreation	Parcel C Neighborhood Park	Prior to construction of half Parcel C units
6	Recreation	Parcel D Neighborhood Park	Prior to construction of half Parcel D units
7	Transportation	Dedication of 110' ROW for extension of Amelia Concourse	Within 6 months of written request from County Manager
8	Transportation	Construct 2-lane extension of Amelia Concourse including sidewalk on one side and multi-use trail on the other side	Within 6 months of approval of Parcel D engineering plans
9	Transportation	CR 107/Amelia Concourse intersection improvements	Within 6 months of approval of Parcel D engineering plans
10	Signage	Gateway monuments (3) at CR 107 and Amelia Concourse	Within 1 year after completion of CR 107/Amelia Concourse intersection improvements (Item 9 above)
11	Drainage	Joint use pond and 30' easement south of Amelia Concourse	Within 6 months of approval of Parcel C engineering plans
12	Drainage	Replacement mitigation land east of CR 107 for release of conservation easement	In conjunction with County assistance to release the conservation easement located on Parcel D
13	Signage	Submittal of unified signage and gateway monument plan for County review	Prior to construction of any signage or gateway monuments
Item	Category	County Commitment	Due Date
1	Drainage	Assist with the release of conservation easement for Amelia Concourse extension	Within 6 months of written request of Developer
2	Transportation	Maintenance of Amelia Concourse extension	Upon acceptance of the roadway by the BOCC

Prepared by:

PROSSER™

EXHIBIT C



ATTORNEYS AT LAW

Emily G. Pierce

904 . 346 . 5787
EPierce@rtlaw.com

1301 Riverplace Boulevard • Suite 1500
Jacksonville, Florida 32207

904 . 398 . 3911 Main
904 . 396 . 0663 Fax
www.rtlaw.com

May 20, 2019

Via E-Mail to mmullin@nassaucountyfl.com and U.S. Mail

Mr. Michael S. Mullin
Nassau County Attorney
96135 Nassau Place, Suite 6
Yulee, Florida 32097

**Re: The Proposed Concourse Crossing PUD (R18-003)
Election of Payment in Lieu of Construction of Park Facilities**

Dear Mike:

As you are aware, I represent Nassau I Amelia, LLC ("Nassau I"), the applicant for the proposed Concourse Crossing PUD. It is our understanding that Objective ROS.01 of the Nassau County 2030 Comprehensive Plan Recreation and Open Space Element (the "ROS") requires that, in order to meet the adopted Level of Service in the ROS, all residential development must either provide community and regional parks on-site or provide a payment in lieu of the construction of a park. It is also our understanding that the County has adopted the Nassau County Park Amenity Estimates prepared by J.B. Coxwell Contracting Incorporated and GAI Consultants dated January 18, 2019 (the "Study") which represents the estimated costs of the construction of those park facilities required by the Comprehensive Plan.

This letter is to notify the County that the applicant wishes to proceed with a payment in lieu of the construction of park facilities consistent with Policy ROS.01.09. The County has provided my client with a spreadsheet showing the amount of land Nassau I would be required to set aside for a park under the ROS along with a calculation of the costs of the construction of the required park facilities based upon the Study. We have reviewed the spreadsheet and believe that the total costs are both consistent with the Study and are proportionate to the projected needs that will be created by the development of Concourse Crossing. As such, Nassau I has elected to proceed with a payment in lieu of construction of a park and has included this election within the Narrative Description (Exhibit "D") of the PUD application.

Thank you for your assistance with this matter. If there are any questions or concerns, please call me at the above number.

Sincerely,

A handwritten signature in blue ink, appearing to read "Emily G. Pierce".

Emily G. Pierce

EXHIBIT C

Mr. Michael Mullin

May 20, 2019

Page 2

cc: Taco Pope, Assistant County Manager (tpope@nassaucountyfl.com)
Adrienne Burke, Planning & Economic Opportunity Director
(aburke@nassaucountyfl.com)
Doug McDowell, Principal Planner (dmcowell@nassaucountyfl.com)
Megan Diehl, Office of Management & Budget Director (mdiehl@nassaucountyfl.com)
Peter Leach (pleach@sphone.com)
Kevin Justice (kjustice@sphone.com)
Tony Robbins, AICP (TRobbins@prosserinc.com)

EXHIBIT C

Concourse Crossing PUD (R18-003)
Calculation for Payment in Lieu of Construction of Park Facilities
5/20/2019

Residential units	247
Est. Population*	590
Per Acre Value of Land per Appraisal	\$ 33,949.00

Park Type	acres	Per pop.	Acre per capita	Project demand
Community Park acres	3.35000	1000	0.00335	1.97761
Regional Park acres	10.00000	1000	0.01000	5.90330
Beach Access acres	0.25000	1000	0.00025	0.14758
Boat Facility acres	0.40000	1000	0.0004	0.23613
				8.26462

Amenity/Facility**	Units	Per pop.	Unit per capita	Land demand for amenity/facility (ac)	Facility construction cost	Site development cost (\$133,991.60/ac)
Baseball field(\$265,739.70)/Softball field(\$212,209.80)***	1	2500	0.00040	3.00000	\$ 238,974.75	\$ 401,974.80
Football/soccer field	1	6000	0.000166667	2.50000	\$ 215,380.20	\$ 334,979.00
Basketball court	1	5000	0.00020	0.20000	\$ 49,702.40	\$ 26,798.32
Tennis court	1	5000	0.00020	0.02000	\$ 72,917.45	\$ 2,679.83
play area	1	10000	0.00010	0.75000	\$ 237,413.88	\$ 100,493.70
exercise trail	1	15000	0.00007	5.00000	\$ 182,134.43	\$ 669,958.00
aquatic center	1	25000	0.00004	2.50000	\$ 3,290,031.75	\$ 334,979.00

Amenity/Facility**			% of amenity/facility demand	Land demand by % of amenity/facility (ac)	Amenity/Facility construction cost by % of demand	Site development cost by % of demand
Baseball field			0.23613	0.70840	\$ 56,429.59	\$ 94,919.11
Football/soccer field			0.09839	0.24597	\$ 21,190.90	\$ 32,958.03
Basketball court			0.11807	0.02361	\$ 5,868.16	\$ 3,163.97
Tennis court			0.11807	0.00235	\$ 8,609.07	\$ 316.40
play area			0.05903	0.04427	\$ 14,015.25	\$ 5,932.44
exercise trail			0.03936	0.19678	\$ 7,167.96	\$ 26,366.42
aquatic center			0.02361	0.05903	\$ 77,688.18	\$ 7,909.93
					\$ 190,969.11	\$ 171,566.30
\$ 362,535.41 Total Cost (No Furnishings)						\$ 1,467.75 per unit

\$ 362,535.41	Total Cost (no Furnishings)	\$ 1,467.75	per unit
\$ 280,575.58	Land Total (appraised per acre value of development site*required acreage)	\$ 1,135.93	per unit
\$ 643,110.99	Grand Total	\$ 2,603.69	per unit

*2.39pph- GAI Impact Fee Methodology

** Comp. Plan Policy ROS.01.04 requires 1 boat ramp lane per 5,000 people. This improvement was not included in the GAI study. However, upon an update of the January 18, 2019 GAI study to include the requisite boat ramp lane LOS the calculations/multipliers will be amended accordingly.

*** Comp. Plan Policy ROS.01.07 includes states "baseball/softball" as the facility. The GAI study calculated baseball and softball separately. As such, the cost for a softball field and baseball field were averaged.

EXHIBIT C



J.B. COXWELL CONTRACTING
INCORPORATED



COMMUNITY
SOLUTIONS
GROUP

Creating great community places.



Nassau County Park Amenity Estimates

18 January 2019

Table of Contents

Introduction 1-4

Existing Conditions in Nassau County 5-8

Baseball 9-12

Softball 13-16

Soccer/Football 17-20

Basketball 21-24

Tennis 25-28

Playground 29-32

Aquatic Center..... 33-37

Trail 38-41

Appendix 42-43

Introduction

Introduction

The Nassau County Department of Planning and Economic Opportunity has requested assistance from GAI Consultants to develop a Park Budgeting and Development Guide that will provide pricing information to assist the Department as it negotiates with developers submitting applications for subdivisions, PUD's and DRI's. This information will allow the Department to better understand the cost to the County to come into compliance with the Nassau County 2030 Comprehensive Plan's Recreation and Open Space Element (ROS) Goals, Objectives and Policies.

The stated goal of the ROS is to ***Provide and maintain sufficient public parks, recreation facilities, and open space to meet the recreational needs of County residents and visitors***, with its first Objective stating ***The County shall acquire, develop and efficiently maintain adequate community and regional recreation facilities to achieve and maintain the adopted Level of Service (LOS) in order to meet projected recreational needs through year 2030.*** This Objective is further addressed in the following Policies:

Policy ROS.01.04 states *The County shall acquire, maintain, or manage through agreement, community and regional park facilities to achieve and maintain the adopted levels of (LOS) shown below (followed by a table that listed the Service Radius, Minimum Size and Area/1000 Residents).*

Policy ROS.01.05 states *In general, the County shall not seek to acquire neighborhood park facilities. Land and improvements for neighborhood parks shall be provided by new development through the site plan review process. Criteria for the location and design of such facilities shall be included in the Land Development Code (LDC), Planned Unit Development (PUD) or Development of Regional Impact (DRI) development order.*

Policy ROS.01.07 states *The County shall plan recreation facilities based on the following planning guidelines from the State Comprehensive Recreation Program (2000). These guidelines are for planning purposes only and may be used to help determine how grant funds and county funds could be used to improve county recreation*

facilities. The following resources/facilities were identified: Baseball/Softball Field, Basketball Court, Football/Soccer Field, Equipped Play Area, Exercise/Par course Trails, Aquatic Center, and Tennis Court.

Policy ROS.01.12 states *The County shall encourage and create incentives such as cluster development standards, density bonuses, mixed use development etc., for the dedication of recreational land.*

Policy ROS.01.15 states *The County shall review each new development as to the need for public parks and recreation facilities that are necessary to maintain adopted levels of service. Required park land should be identified for dedication during the review process for a subdivision, Planned Unit Development (PUD), or Development of Regional Impact (DRI) and a schedule should be established for construction of facilities. The County may consider funds to be donated in lieu of land in cases where the required aggregate land dedication is less than the minimum standard of useable acres established in Policy ROS.01.01.*

Introduction

The County Planning Department has been receiving a number of requests from developers regarding the provisions of this last policy and it is to that end that GAI Consultants is assisting in the development of the Park Budgeting and Development Guide. GAI routinely designs community and regional parks and sports complexes throughout the state, and is quite familiar with both the design and cost of specific facilities.

Since most of the County's recreation facilities were built during an earlier period and don't meet today's standards and best practices, this guide will provide current layout and pricing information for the construction of individual park facilities. The scope of this effort will include the layout and pricing for sports fields (Baseball, Softball, Little League Baseball, Football and Soccer); tennis and basketball courts; children's age separated playgrounds; a fitness trail; and an aquatic center.

The Guide will describe each of the facilities beginning with the assumptions that were made, followed by a detailed cost estimate for constructing a single facility, and an a la carte menu for pricing additional site furnishings. This will then be followed by a detailed layout of the facility. It should be noted that these estimates are for a single facility of each type, and there are obvious economies of scale that are not reflected in these cost estimates.

The site development costs are based on the following assumption regarding the availability of sufficient undeveloped upland, directly accessible from a paved public or park roadway, generally flat, with utilities adjacent to the site. It is assumed that no imported fill dirt would be required, and any excess dirt would be distributed on-site. It assumes the sites would be 50% grass and 50% wooded.

There is an additional cost for the infrastructure required for sports fields that is substantially greater than for tennis and basketball courts and includes all earthwork, paved parking lots, sidewalks connecting the facility and parking lot, site lighting and storm water management. Because the costs for developing infrastructure for a sports field single-site would be substantially greater than for multiple fields arranged over large areas, we developed infrastructure costs for multi-field complexes. These costs were then averaged out to establish a per acre cost that could be added to the basic field cost for baseball, softball, little league baseball, football and soccer fields. There is a copy of this multi-field detailed cost analysis in the appendix.

The construction of sports fields and courts follow very specific guidelines in terms of configuration, dimensions, and equipment, with very little room for variation. Playgrounds, on the other hand are strictly regulated for safety reasons and must adhere to the Florida Building Code requirements in a public playground area should meet the following:

- Playground equipment must be IPEMA certified (unless otherwise noted). The use and layout of the components needs to conform to the requirements of ASTM F1487. Safety surfacing to comply with ASTM F1292. Accessible route of travel per ASTM F1951.
 - Shade structure equipment must meet current Florida Building Code requirements, and shade fabric must meet NFPA 701 (fire retardant).
 - Safety Surfacing must meet ASTM F1292 Head Impact and ASTM F1951 Accessibility test.
 - If using mulch, surface must have ASTM F2075 Standard specification for wood fiber as a playground safety surfacing under and around playground equipment.
- County Building Permit for Playground:
- Provide signed and sealed engineered drawings of engineered foundations for playground equipment and shade structure by Florida licensed professional engineer for building permit application.

Existing Conditions in Nassau County



Baseball/Softball - Nassau County



Baseball/Softball - Nassau County



Baseball/Softball - Nassau County



Tennis - City of Fernandina Beach



Tennis - City of Fernandina Beach



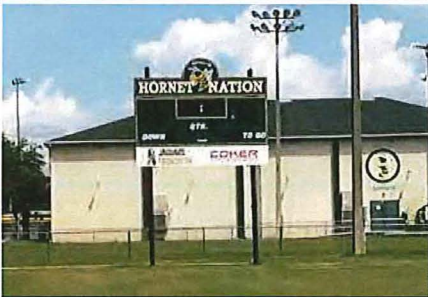
Tennis - City of Fernandina Beach



Soccer/Football - Nassau County



Soccer/Football - Nassau County



Soccer/Football - Nassau County



Playground - Nassau County



Playground - Nassau County



Playground - Nassau County



Playground - City of Fernandina Beach



Playground - City of Fernandina Beach



Playground - City of Fernandina Beach



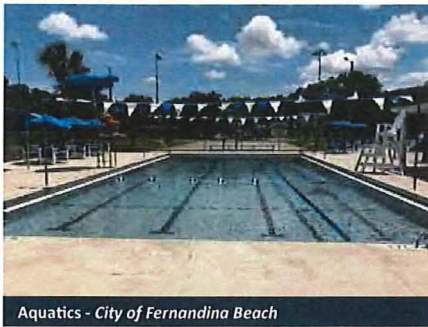
Trail - City of Fernandina Beach



Trail - City of Fernandina Beach



Trail - City of Fernandina Beach



Aquatics - City of Fernandina Beach



Aquatics - City of Fernandina Beach



Aquatics - City of Fernandina Beach

Baseball

Baseball

ASSUMPTIONS AND CLARIFICATIONS

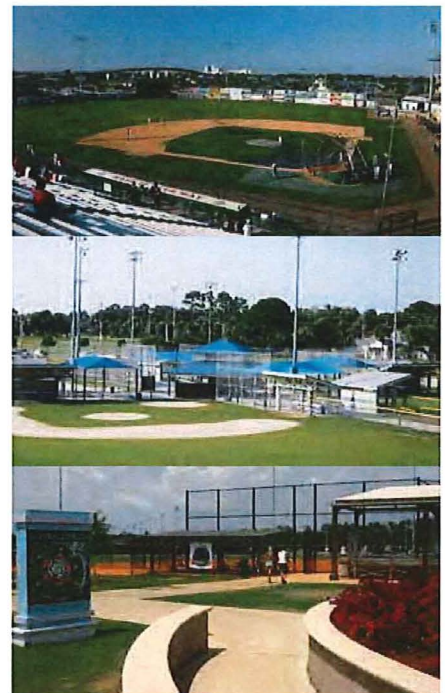
The cost information being provided is based on developing a single field, reflecting best practices, appropriately sized, designed and built to present-day standards. A single baseball field requires approximately 3 acres. The pricing will include the basic construction of a field, and an a la carte menu of site furnishings (field lighting, bleachers, benches, scoreboard, etc.). Also included is an average per acre cost for the construction of support facilities, i.e. site drainage, retention ponds, parking, sidewalks, and site lighting. Pricing of these facilities does not include land costs.

FIELD CONSTRUCTION (1 field, 3 acres)

Description	Qty	Unit	Unit Cost	Total Cost
Fine Grading	14520	SY	\$ 3.45	\$ 50,094.00
Infield Clay 5" Thick	413	TN	\$ 72.10	\$ 29,777.30
Warning Track 2.5" Thick	10888	SF	\$ 2.50	\$ 27,220.00
Backstop	1	LS	\$ 7,875.00	\$ 7,875.00
12' Fence	136	LF	\$ 57.15	\$ 7,772.40
6' Fence	1260	LF	\$ 21.00	\$ 26,460.00
12' Swing Gate	1	EA	\$ 1,680.00	\$ 1,680.00
Yellow Top Rail Fence Cover	1040	LF	\$ 3.15	\$ 3,276.00
Foul Pole	2	EA	\$ 4,410.00	\$ 8,820.00
Pitchers Mound, Home Plate & Bases	1	LS	\$ 12,245.00	\$ 12,245.00
Distance Signs	3	EA	\$ 185.00	\$ 555.00
Dugout	2	EA	\$ 15,952.00	\$ 31,904.00
Sodding (Bermuda Sprigs)	1.79	AC	\$ 14,900.00	\$ 26,671.00
Irrigation	1	LS	\$ 24,565.00	\$ 24,565.00
Maintenance (during grow in period)	1	LS	\$ 6,825.00	\$ 6,825.00
				\$ 258,914.70
General Conditions 10%	1	LS	\$ 25,891.47	\$ 25,891.47
				\$ 265,739.70

SITE FURNISHINGS

Sport Field Lighting	1	LS	\$ 285,000.00	\$ 285,000.00
Scoreboard	1	EA	\$ 5,775.00	\$ 5,775.00
Electric for Scoreboard	1	EA	\$ 12,862.00	\$ 12,862.00
Player Bench	1	EA	\$ 2,620.00	\$ 2,620.00
Bleachers (with cover)	1	EA	\$ 28,485.00	\$ 28,485.00
Scoring Table	1	EA	\$ 1,035.00	\$ 1,035.00
Trash Receptacle	1	EA	\$ 1,900.00	\$ 1,900.00



Baseball

SITE

It is assumed there are sufficient uplands (no wetlands that would require permitting or mitigation) that are accessible directly off a paved, public or park roadway. Furthermore, for the purposes of this estimate, it is assumed the project site is undeveloped, generally flat, 50% grass and 50% wooded, and that no imported fill dirt would be required.

GEOTECHNICAL

It is assumed that subsurface conditions will consist of very loose to medium dense sandy soils including fine sands, fine sands with silt or clay, and clayey fine sand (SP, SP-SM, SP-SC, and SC). Groundwater is assumed to be within 3 feet of the existing ground surface.

UTILITIES

It is assumed municipal water is available and adjacent to the site with adequate flow and pressure. The base estimate includes 1000' of 1" PVC water line with a backflow preventer to supply water for a drinking fountain and an irrigation system. It is also assumed electrical service is available and adjacent to the site with sufficient capacity for field and parking lot lighting.

GRADING & DRAINAGE

The site will be graded to sheet drain storm water off the field and blended with the existing grades around the perimeter to ensure positive drainage. Storm water runoff will be directed to precast concrete drain inlets where it is conveyed through reinforced concrete pipe ranging from 15" to 24" in diameter. Runoff will be collected in a storm water management system sized to 20% of the project area where it will be treated and attenuated prior to being discharged into the receiving water body. It is assumed the site lies in FEMA Flood Zone 'X'. No flood compensation will be required for the construction of the soccer/football field.

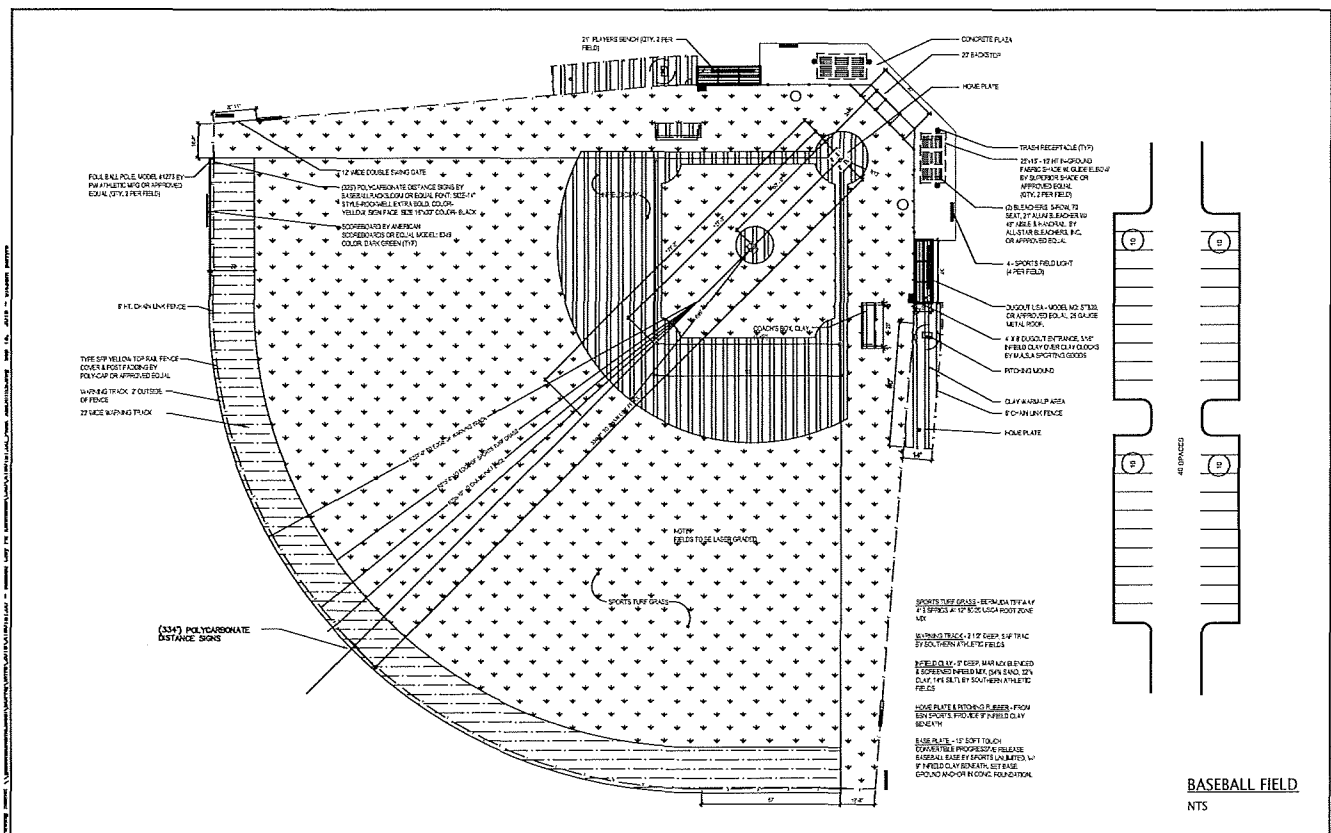
INFRASTRUCTURE

This will include a paved parking lot with sidewalk connectivity to the bleachers. The parking lot will provide 40 spaces with accessible parking as required to meet accessibility code. The parking lot will be constructed of 1.5" asphalt over 6" aggregate base over 12" stabilized subgrade. The sidewalk will be 5 feet wide and 4" thick unreinforced concrete. The parking lot will be designed with 18" standard concrete curb throughout.

SITE DEVELOPMENT COST APPROXIMATELY \$ 130,000 PER ACRE*

*See Appendix for site dev. cost breakdown.

Baseball Amenity Improvements



Softball & Little League Baseball

Softball & Little League Baseball

ASSUMPTIONS AND CLARIFICATIONS

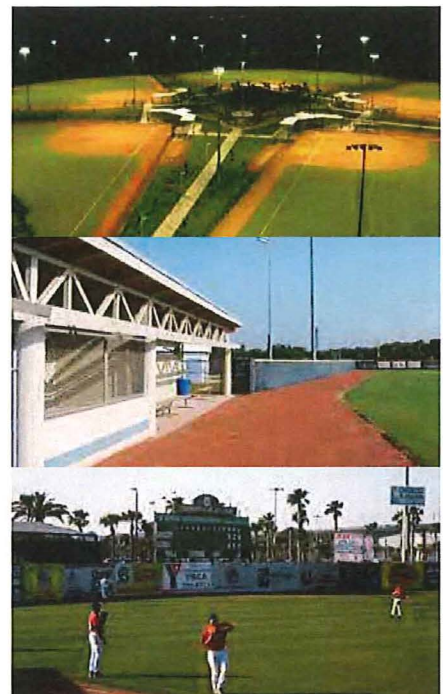
The cost information being provided is based on developing a single field, reflecting best practices, appropriately sized, designed and built to present-day standards. For expediency, we have lumped a softball field with a little league baseball field since both share an identical footprint. Little league baseball fields typically have a grassed infield while softball has a skinned infield, and any cost differential should be insignificant. A single softball or little league baseball field requires approximately 1.5 acres, and the associated cost will be that sized facility. The pricing will include the basic construction of a field, and an a la carte menu of site furnishings (field lighting, bleachers, benches, scoreboard, etc.). Also included is an average per acre cost for the construction of support facilities, i.e. site drainage, retention ponds, parking, sidewalks, and site lighting. Pricing of these facilities does not include land costs.

FIELD CONSTRUCTION (1 field, 1.5 acres)

Description	Qty	Unit	Unit Cost	Total Cost
Fine Grading	7677	SY	\$ 3.45	\$ 26,485.65
Infield Clay (5" Thk)	362	TN	\$ 72.60	\$ 26,281.20
Warning Track 2.5" Deep	8514	SF	\$ 2.55	\$ 21,710.70
Back Stop	1	LS	\$ 7,875.00	\$ 7,875.00
12' Fence	103	LF	\$ 59.15	\$ 6,092.45
6' Fence	844	LF	\$ 20.90	\$ 17,639.60
12' Swing Gate	1	EA	\$ 1,680.00	\$ 1,680.00
Yellow Top Rail Fence Cover	844	LF	\$ 3.15	\$ 2,658.60
Foul Pole	2	EA	\$ 4,410.00	\$ 8,820.00
Pitchers Mound, Home Plate & Bases	1	LS	\$ 12,245.00	\$ 12,245.00
Distance Signs	3	EA	\$ 185.00	\$ 555.00
Dugout	2	EA	\$ 15,952.00	\$ 31,904.00
Sodding (Bermuda Sprigs)	0.77	AC	\$ 15,040.00	\$ 11,580.80
Irrigation	1	LS	\$ 10,565.00	\$ 10,565.00
Maintenance (during grow in period)	1	LS	\$ 6,825.00	\$ 6,825.00
				\$ 192,918.00
General Conditions 10%	1	LS	\$ 19,291.80	\$ 19,291.80
				\$ 212,209.80

SITE FURNISHINGS

Sports Field Lighting	1	LS	\$ 180,000.00	\$ 180,000.00
Scoreboard	1	EA	\$ 5,775.00	\$ 5,775.00
Electric For Score Board	1	EA	\$ 12,862.00	\$ 12,862.00
Player Bench	1	EA	\$ 2,620.00	\$ 2,620.00
Bleachers (with cover)	1	EA	\$ 28,485.00	\$ 28,485.00
Scoring Table	1	EA	\$ 1,035.00	\$ 1,035.00
Trash Receptacle	1	EA	\$ 1,900.00	\$ 1,900.00



Softball & Little League Baseball

SITE

It is assumed there are sufficient uplands (no wetlands that would require permitting or mitigation) that are accessible directly off a paved, public or park roadway. Furthermore, for the purposes of this estimate, it is assumed the project site is undeveloped, generally flat, 50% grass and 50% wooded, and that no imported fill dirt would be required.

GEOTECHNICAL

It is assumed that subsurface conditions will consist of very loose to medium dense sandy soils including fine sands, fine sands with silt or clay, and clayey fine sand (SP, SP-SM, SP-SC, and SC). Groundwater is assumed to be within 3 feet of the existing ground surface.

UTILITIES

It is assumed municipal water is available and adjacent to the site with adequate flow and pressure. The base estimate includes 1000' of 1" PVC water line with a backflow preventer to supply water for a drinking fountain and an irrigation system. It is also assumed electrical service is available and adjacent to the site with sufficient capacity for field and parking lot lighting.

GRADING & DRAINAGE

The site will be graded to sheet drain storm water off the field and blended with the existing grades around the perimeter to ensure positive drainage. Storm water runoff will be directed to precast concrete drain inlets where it is conveyed through reinforced concrete pipe ranging from 15" to 24" in diameter. Runoff will be collected in a storm water management system sized to 20% of the project area where it will be treated and attenuated prior to being discharged into the receiving water body. It is assumed the site lies in FEMA Flood Zone 'X'. No flood compensation will be required for the construction of the soccer/football field.

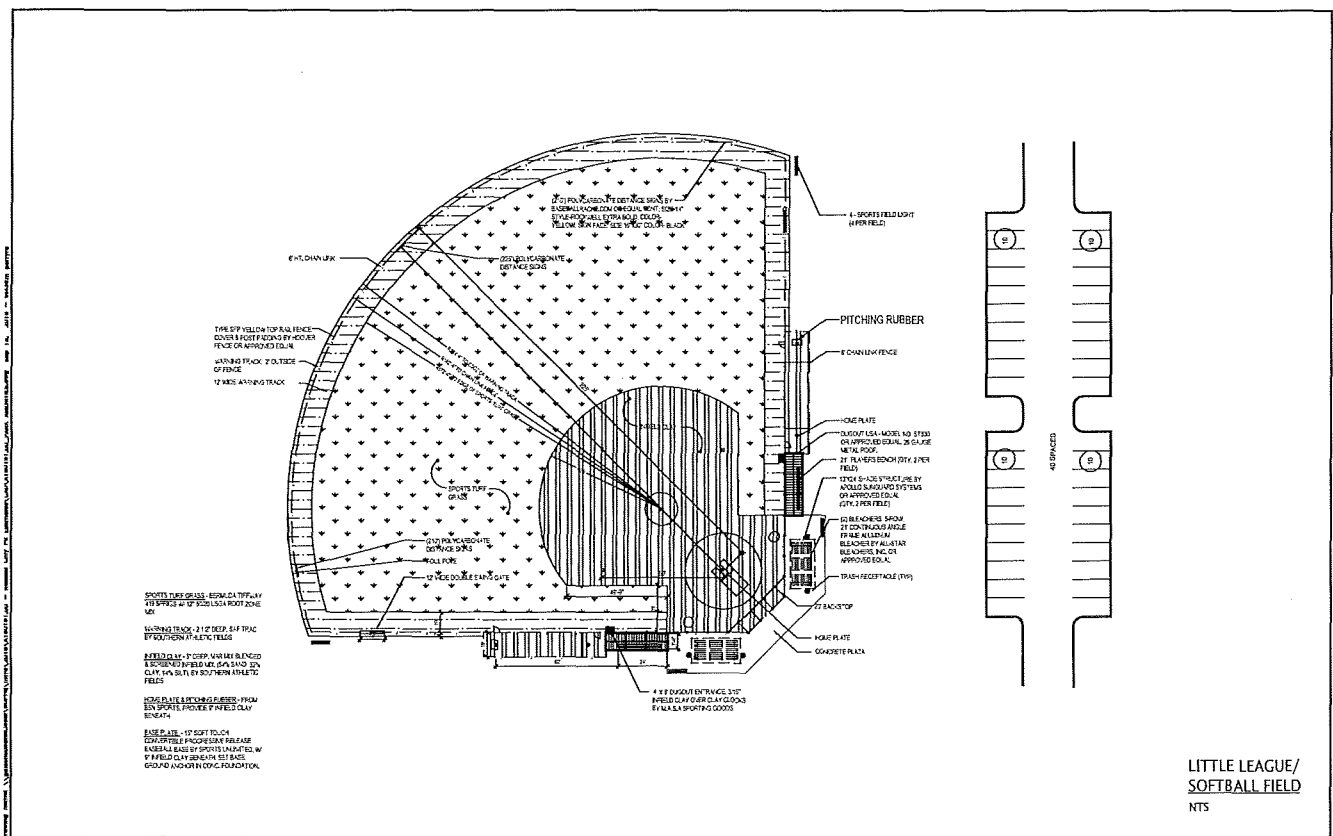
INFRASTRUCTURE

This will include a paved parking lot with sidewalk connectivity to the bleachers. The parking lot will provide 40 spaces with accessible parking as required to meet accessibility code. The parking lot will be constructed of 1.5" asphalt over 6" aggregate base over 12" stabilized subgrade. The sidewalk will be 5 feet wide and 4" thick unreinforced concrete. The parking lot will be designed with 18" standard concrete curb throughout.

SITE DEVELOPMENT COST APPROXIMATELY \$ 130,000 PER ACRE*

*See Appendix for site dev. cost breakdown.

Softball & Little League Baseball Amenity Improvements



Soccer/Football

Soccer/Football

ASSUMPTIONS AND CLARIFICATIONS

The information being provided is based on developing a single facility reflecting best practices, appropriately sized, and designed and built to present-day standards. Since a variety of field sports (soccer & football) can all be played on a soccer sized field, the associated cost breakdown will be for a 2.5 acre soccer-sized facility. The pricing will include the basic construction of a field, and an a la carte menu of site furnishings (lighting, goals, bleachers, benches, scoreboard). Also included is an average per acre cost for the construction of support facilities, i.e. site drainage, retention ponds, parking, sidewalks, and site lighting. Pricing of these facilities does not include land costs.

FIELD CONSTRUCTION (1 field, 2.5 acres)

Field Construction

Description	Qty	Unit	Unit Cost	Total Cost
Fine Grading	13335	SY	\$ 2.70	\$ 36,004.50
Sodding (Bermuda Sprigs)	2.5	AC	\$ 12,915.00	\$ 32,287.50
Irrigation	1	LS	\$ 27,445.00	\$ 27,445.00
Maintenance (During grow in period)	1	LS	\$ 6,825.00	\$ 6,825.00
				\$ 102,562.00
General Conditions 10%	1	LS	\$ 10,256.20	\$ 10,256.20
				\$ 215,380.20

SITE FURNISHINGS

Sports Field Lighting	1	LS	\$ 185,000.00	\$ 185,000.00
Scoreboard	1	EA	\$ 5,775.00	\$ 5,775.00
Electric For Score Board	1	EA	\$ 12,862.00	\$ 12,862.00
Team Bench	1	EA	\$ 2,620.00	\$ 2,620.00
Soccer Goal	1	EA	\$ 3,075.00	\$ 3,075.00
Trash Receptacle	1	EA	\$ 1,900.00	\$ 1,900.00
Bleachers 3-Row Aluminum	1	EA	\$ 3,465.00	\$ 3,465.00
Concrete Bleacher Pad (22 x 35)	770	SF	\$ 12.65	\$ 9,740.50



Soccer/Football

SITE

It is assumed there are sufficient uplands (no wetlands that would require permitting or mitigation) that are accessible directly off a paved, public or park roadway. Furthermore, for the purposes of this estimate, it is assumed the project site is undeveloped, generally flat, 50% grass and 50% wooded, and that no imported fill dirt would be required.

GEOTECHNICAL

It is assumed that subsurface conditions will consist of very loose to medium dense sandy soils including fine sands, fine sands with silt or clay, and clayey fine sand (SP, SP-SM, SP-SC, and SC). Groundwater is assumed to be within 3 feet of the existing ground surface.

UTILITIES

It is assumed municipal water is available and adjacent to the site with adequate flow and pressure. The base estimate includes 1000' of 1" PVC water line with a backflow preventer to supply water for a drinking fountain and an irrigation system. It is also assumed electrical service is available and adjacent to the site with sufficient capacity for field and parking lot lighting.

GRADING & DRAINAGE

The site will be graded to sheet drain storm water off the field and blended with the existing grades around the perimeter to ensure positive drainage. Storm water runoff will be directed to precast concrete drain inlets where it is conveyed through reinforced concrete pipe ranging from 15" to 24" in diameter. Runoff will be collected in a storm water management system sized to 20% of the project area where it will be treated and attenuated prior to being discharged into the receiving water body. It is assumed the site lies in FEMA Flood Zone 'X'. No flood compensation will be required for the construction of the soccer/football field.

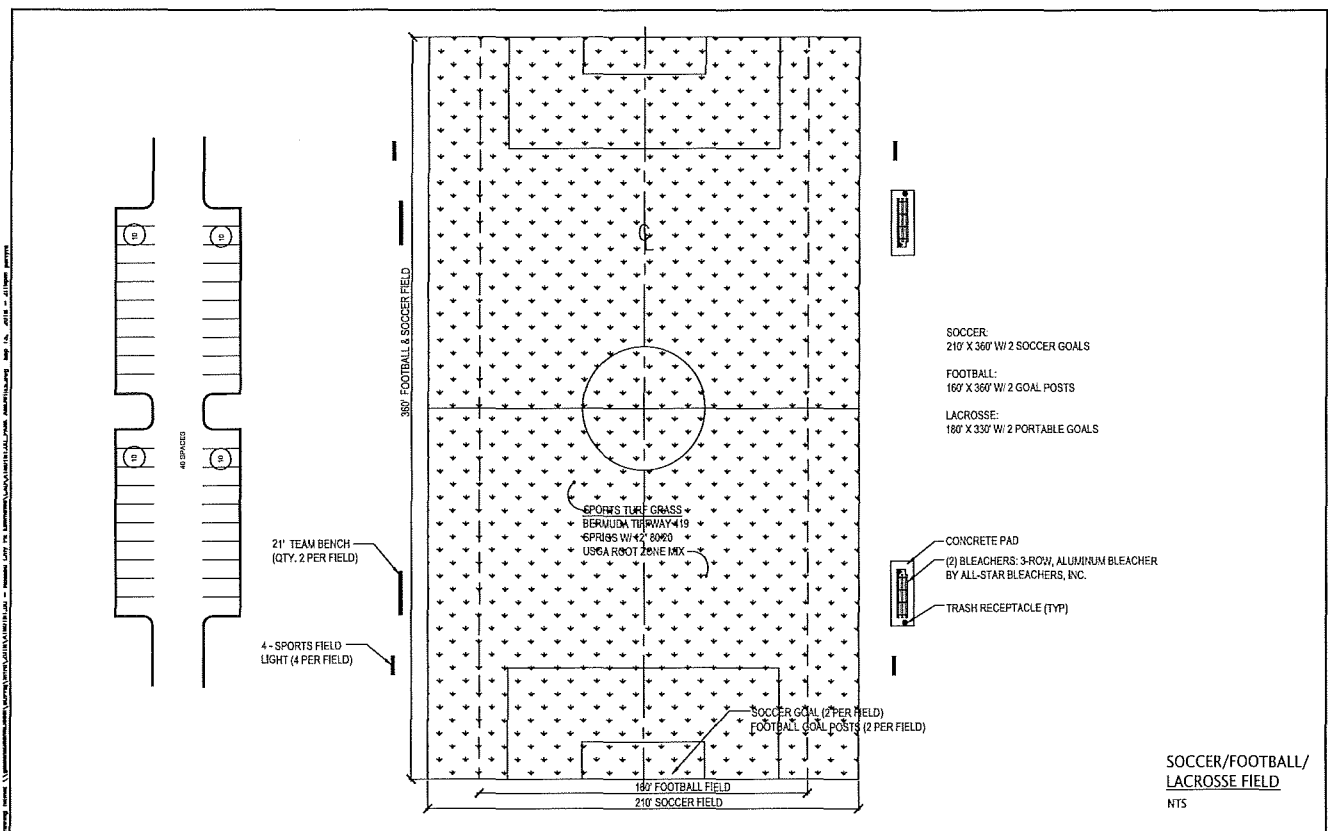
INFRASTRUCTURE

This will include a paved parking lot with sidewalk connectivity to the bleachers. The parking lot will provide 40 spaces with accessible parking as required to meet accessibility code. The parking lot will be constructed of 1.5" asphalt over 6" aggregate base over 12" stabilized subgrade. The sidewalk will be 5 feet wide and 4" thick unreinforced concrete. The parking lot will be designed with 18" standard concrete curb throughout.

SITE DEVELOPMENT COST APPROXIMATELY \$ 130,000 PER ACRE*

*See Appendix for site dev. cost breakdown.

Soccer/Football Amenity Improvements



Basketball

Basketball

ASSUMPTIONS AND CLARIFICATIONS

The information being provided is based on developing a single facility reflecting best practices, appropriately sized, and designed and built to present-day standards. The pricing will include court surfacing (on top of a concrete slab), basketball goals, and an a la carte menu of site furnishings (court lighting, benches and trash receptacles). Pricing of these facilities does not include land costs or site development costs.

COURT CONSTRUCTION (Single Courts) 0.2 acres

Description	Qty	Unit	Unit Cost	Total Cost
Grade And Compact	890	SY	\$ 2.30	\$ 2,047.00
Court Construction	6580	SF	\$ 4.25	\$ 27,965.00
Court Material/Surfacing	6580	SF	\$ 0.90	\$ 5,922.00
Basketball Hoop	2	EA	\$ 4,625.00	\$ 9,250.00
				\$ 45,184.00
General Conditions 10%	1	LS	\$ 4,518.40	\$ 4,518.40
				\$ 49,702.40

SITE FURNISHINGS

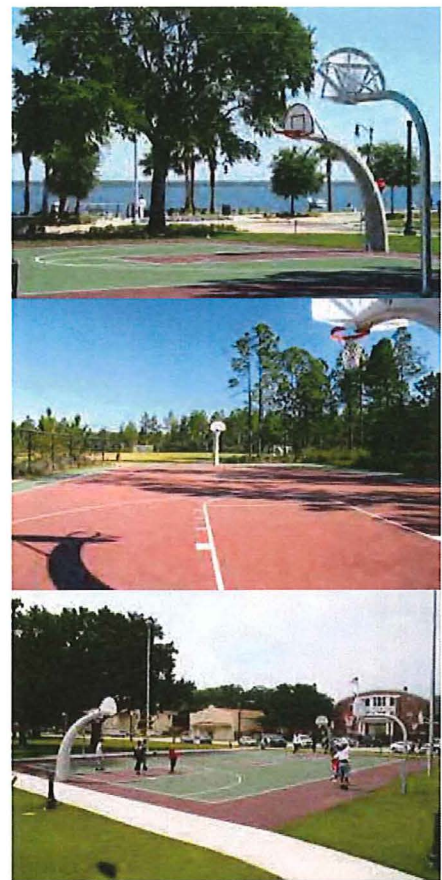
Sport Court Lighting	1	LS	\$ 80,000.00	\$ 80,000.00
Bench	1	EA	\$ 1,150.00	\$ 1,150.00
Trash Receptacle	1	EA	\$ 1,900.00	\$ 1,900.00

SITE

It is assumed that there is a minimum of 0.2 acres of uplands (no wetlands that would require permitting or mitigation) that are accessible directly off a paved, public or park roadway. Furthermore, for the purposes of this estimate, it is assumed the project site is undeveloped, generally flat, 50% grass and 50% wooded, and that no imported fill dirt would be required.

GEOTECHNICAL

It is assumed that subsurface conditions will consist of very loose to medium dense sandy soils including fine sands, fine sands with silt or clay, and clayey fine sand (SP, SP-SM, SP-SC, and SC). Groundwater is assumed to be within 3 feet of the existing ground surface.



Basketball

UTILITIES

It is assumed municipal water is available and adjacent to the site with adequate flow and pressure. The base estimate includes 500' of 1" PVC water line with a backflow preventer to supply water for a drinking fountain. It is also assumed electrical service is available and adjacent to the site with sufficient capacity for court and parking lot lighting.

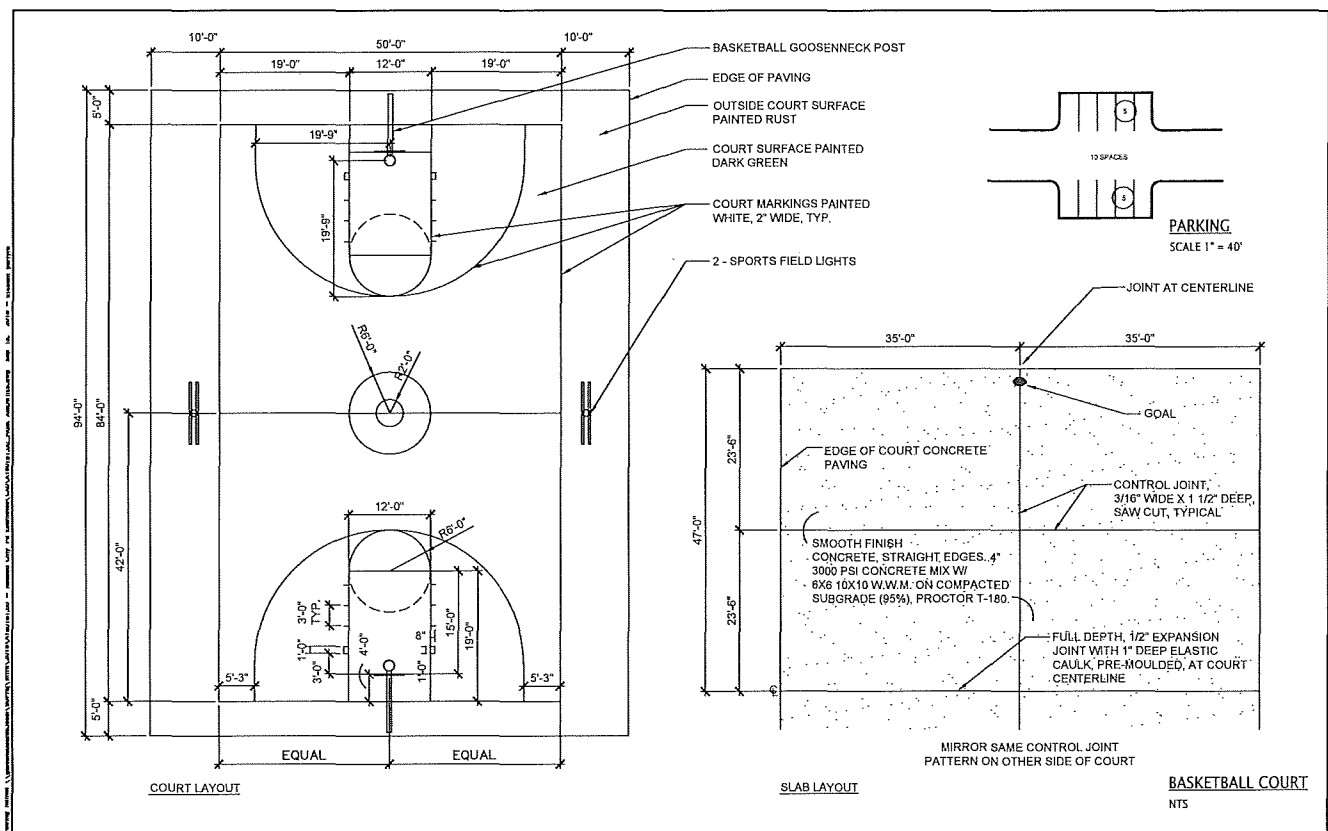
GRADING & DRAINAGE

The site will be graded to sheet drain storm water off the court to blend with the existing grades around the perimeter to ensure positive drainage. If applicable, storm water runoff will be directed to drain inlets. It is assumed the site lies in FEMA Flood Zone 'X'. No flood compensation will be required for the construction of the tennis court.

INFRASTRUCTURE

This will include a paved parking lot with sidewalk connectivity to the court. The parking lot will provide 4 spaces with accessible parking as required to meet accessibility code. The parking lot will be constructed of 1.5" asphalt over 6" aggregate base over 12" stabilized subgrade. The sidewalk will be 5 feet wide and 4" thick unreinforced concrete. The parking lot will be designed with 18" standard concrete curb throughout.

Basketball Amenity Improvements



Tennis

Tennis

ASSUMPTIONS AND CLARIFICATIONS

The information being provided is based on developing a single facility reflecting best practices, appropriately sized, and designed and built to present-day standards. The pricing will include construction of an asphalt court with an acrylic surfacing, tennis net, fencing and wind screens and an a la carte menu of site furnishings (court lighting, covered benches and trash receptacles). Pricing of these facilities does not include land costs or site development costs.

COURT CONSTRUCTION (Single Court) .02 Acre

Description	Qty	Unit	Unit Cost	Total Cost
Stabilized Subgrade LBR 30 12" Thick	675	SY	\$ 9.65	\$ 6,513.75
Limerock Base 4" Thick	658	SY	\$ 11.65	\$ 7,665.70
Asphalt Type SP 1.5" Thk	658	SY	\$ 22.80	\$ 15,002.40
Asphalt Type FC-6	658	SY	\$ 20.30	\$ 13,357.40
NIDY Acrylic Surface System	658	SY	\$ 7.90	\$ 5,198.20
Fencing 10' CLF	300	LF	\$ 42.00	\$ 12,600.00
4' x 8' Gate	1	EA	\$ 940.00	\$ 940.00
Windscreen 8'	300	LF	\$ 10.90	\$ 3,270.00
Court Equipment	1	EA	\$ 4,185.00	\$ 4,185.00
				\$ 68,732.45
General Conditions 10%	1	LS	\$ 6,873.25	\$ 6,873.25
				\$ 72,917.45

SITE FURNISHINGS

Sports Court Lighting	1	LS	\$ 85,000.00	\$ 85,000.00
Covered Bench	1	EA	\$ 2,250.00	\$ 2,250.00
Trash Receptacle	1	EA	\$ 1,900.00	\$ 1,900.00

SITE

It is assumed that there is a minimum of 0.02 acres of uplands (no wetlands that would require permitting or mitigation) that are accessible directly off a paved, public or park roadway. Furthermore, for the purposes of this estimate, it is assumed the project site is undeveloped, generally flat, 50% grass and 50% wooded, and that no imported fill dirt would be required.



Tennis

GEOTECHNICAL

It is assumed that subsurface conditions will consist of very loose to medium dense sandy soils including fine sands, fine sands with silt or clay, and clayey fine sand (SP, SP-SM, SP-SC, and SC). Groundwater is assumed to be within 3 feet of the existing ground surface.

UTILITIES

It is assumed municipal water is available and adjacent to the site with adequate flow and pressure. The base estimate includes 500' of 1" PVC water line with a backflow preventer to supply water for a drinking fountain. It is also assumed electrical service is available and adjacent to the site with sufficient capacity for court and parking lot lighting.

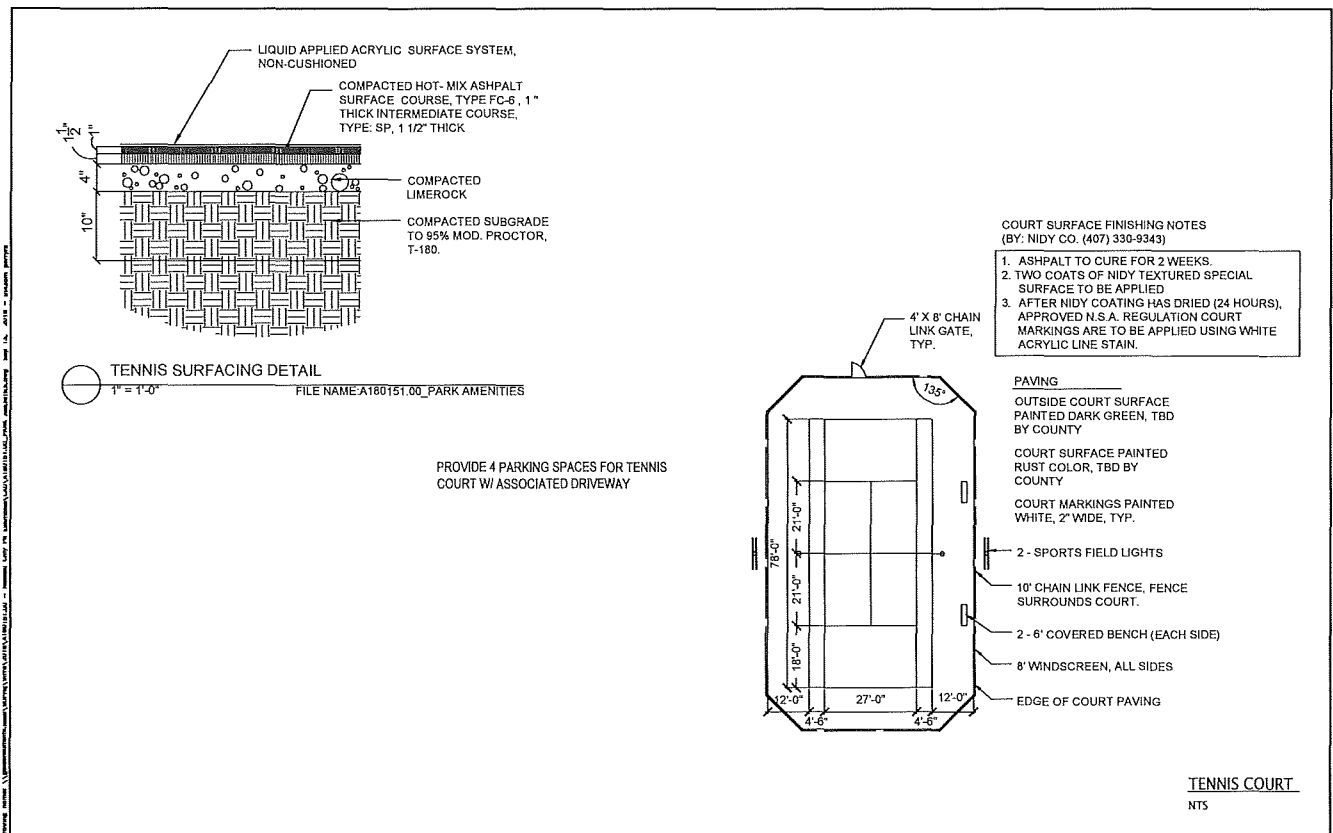
GRADING & DRAINAGE

The site will be graded to sheet drain storm water off the court to blend with the existing grades around the perimeter to ensure positive drainage. If applicable, storm water runoff will be directed to drain inlets. It is assumed the site lies in FEMA Flood Zone 'X'. No flood compensation will be required for the construction of the tennis court.

INFRASTRUCTURE

This will include a paved parking lot with sidewalk connectivity to the court. The parking lot will provide 4 spaces with accessible parking as required to meet accessibility code. The parking lot will be constructed of 1.5" asphalt over 6" aggregate base over 12" stabilized subgrade. The sidewalk will be 5 feet wide and 4" thick unreinforced concrete. The parking lot will be designed with 18" standard concrete curb throughout.

Tennis Amenity Improvements



Playground

Playground

ASSUMPTIONS AND CLARIFICATIONS

The information being provided is based on developing a single facility reflecting best practices, appropriately sized, and designed and built to present-day standards. The pricing will include age appropriate equipment (2-5 year & 5-12 year), a 30' x 30' shade structure, a 15' x 15' pavilion, fencing and site furnishings. Pricing of this facility does not include land costs, or site development cost.

PLAYGROUND CONSTRUCTION

Description	Qty	Unit	Unit Cost	Total Cost
Sediment & Erosion Control	1	LS	\$ 1,245.00	\$ 1,245.00
Clear & Grub	0.5	AC	\$ 13,618.00	\$ 6,809.00
Excavate & Grade	2340	SY	\$ 3.70	\$ 8,658.00
4" Underdrain	100	LF	\$ 32.00	\$ 3,200.00
Underdrain Cleanout	1	EA	\$ 325.00	\$ 325.00
30' x 30' Shade Structure	1	EA	\$ 38,835.00	\$ 38,835.00
Play Equipment (5-12 Year)	1	EA	\$ 35,000.00	\$ 35,000.00
Play Equipment (2-5 Year)	1	EA	\$ 15,000.00	\$ 15,000.00
Oodle Swing	1	EA	\$ 10,000.00	\$ 10,000.00
Playground Edging 12" x 12" Ribbon Curb	317	LF	\$ 26.00	\$ 8,242.00
Fall Zone/Engineered Wood Fiber (Playground Mulch) 12" Thick	7694	SF	\$ 10.50	\$ 80,787.00
Alum Picket Fence 4' Black	308	LF	\$ 21.85	\$ 6,729.80
3' Gate - Black	2	EA	\$ 500.00	\$ 1,000.00
				\$ 215,830.80
General Conditions 10%	1	LS	\$ 21,583.08	\$ 21,583.08
				\$ 237,413.88

SITE FURNISHINGS

Bench	1	EA	\$ 1,150.00	\$ 1,150.00
Trash Receptacle	1	EA	\$ 1,900.00	\$ 1,900.00
Pavilion 15' x 15'	1	EA	\$ 21,110.00	\$ 21,110.00
Conc Slab 4" thick For Bench & Pavilion	433	SF	\$ 5.15	\$ 2,229.95
Bike Racks	1	EA	\$ 675.00	\$ 675.00



Playground

SITE

It is assumed that there is a minimum of .75 acres of uplands (no wetlands that would require permitting or mitigation) that are accessible directly off a paved, public or park roadway. Furthermore, for the purposes of this estimate, it is assumed the project site is undeveloped, generally flat, 50% grass and 50% wooded, and that no imported fill dirt would be required.

GEOTECHNICAL

It is assumed that subsurface conditions will consist of very loose to medium dense sandy soils including fine sands, fine sands with silt or clay, and clayey fine sand (SP, SP-SM, SP-SC, and SC). Groundwater is assumed to be within 3 feet of the existing ground surface.

UTILITIES

It is assumed electrical service is available adjacent to the site with sufficient capacity for parking lot lighting.

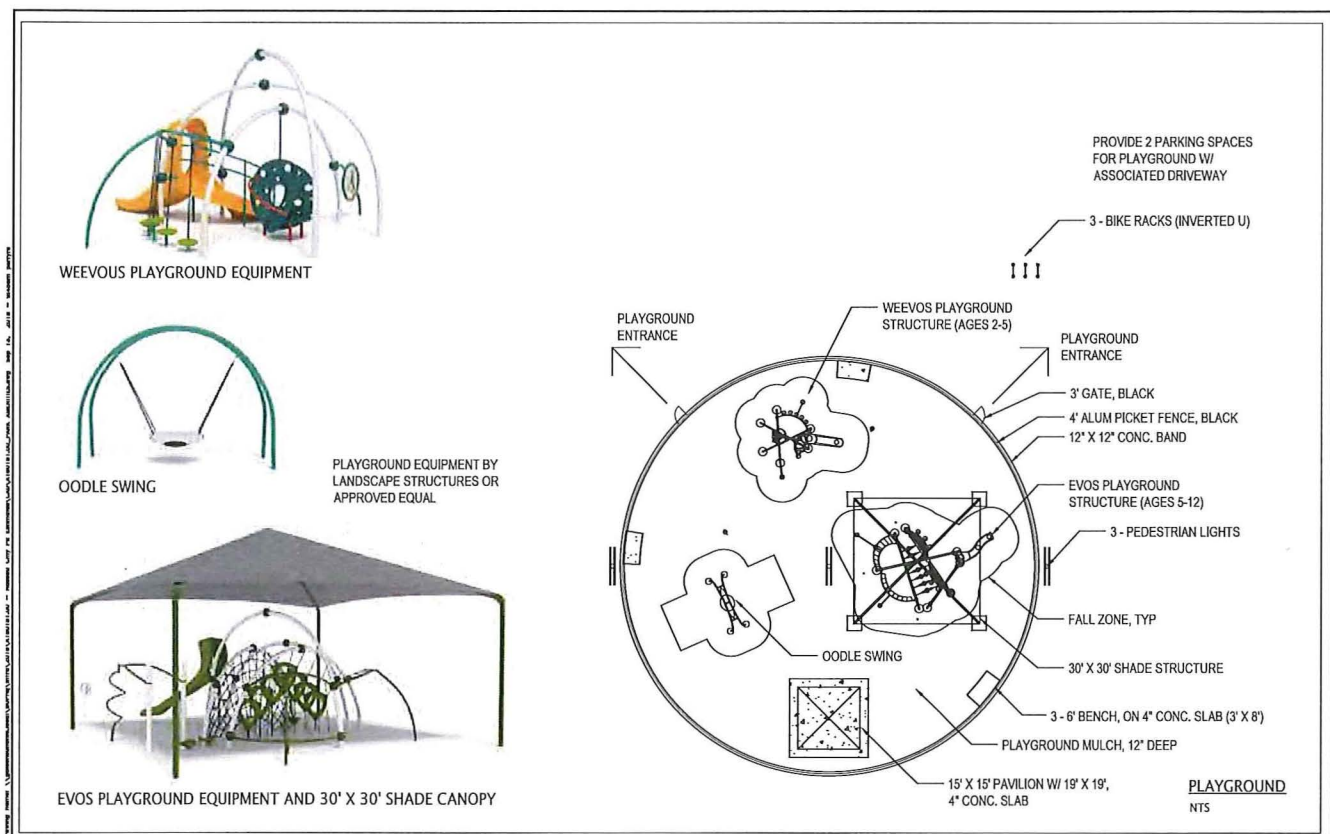
GRADING & DRAINAGE

The site will be graded to blend with the existing grades around the perimeter to ensure positive drainage. Storm water runoff in the play area will be collected through 4" underdrain pipes that discharge into a nearby drain inlet in the parking lot. The storm water runoff in the parking lot will be directed to precast concrete drain inlets where it is conveyed through reinforced concrete pipe ranging from 15" to 18" in diameter. Runoff will be collected in a storm water management system sized to 20% of the project area where it will be treated and attenuated prior to being discharged into the receiving water body. It is assumed the site lies in FEMA Flood Zone 'X'. No flood compensation will be required for the construction of the playground.

SITE SUPPORT

This will include a paved parking lot with sidewalk connectivity to the playground. The parking lot will provide 5 spaces with accessible parking as required to meet accessibility code. The parking lot will be constructed of 1.5" asphalt over 6" aggregate base over 12" stabilized subgrade. The sidewalk will be 5 feet wide and 4" thick unreinforced concrete. The parking lot will be designed with 18" standard concrete curb throughout.

Playground Amenity Improvements



Aquatic Center

Aquatic Center

ASSUMPTIONS AND CLARIFICATIONS

The information being provided is based on developing a single facility reflecting best practices, appropriately sized, and designed and built to present-day standards. The pricing will include a 25-yard lap pool, a feature/leisure pool, a water play tower, a locker room, all pool equipment, pool deck, fencing and site furnishings. Pricing of this facility does not include land costs.

AQUATIC CENTER

AQUATIC CENTER CONSTRUCTION

Description	Qty	Unit	Unit Cost	Total Cost
Sediment & Erosion Control	1	LS	\$ 1,930.00	\$ 1,930.00
Clear & Grub	1	AC	\$ 10,075.00	\$ 10,075.00
Earthwork (Strip Topsoil)	694	CY	\$ 5.55	\$ 3,851.70
Earthwork (Cut to Fill)	1040	CY	\$ 5.65	\$ 5,876.00
Earthwork (Cut To Dispose)	1070	CY	\$ 10.75	\$ 11,502.50
Water Distribution - 8" Water Main	750	LF	\$ 59.00	\$ 44,250.00
Water Distribution - 2" Water Main	200	LF	\$ 37.40	\$ 7,480.00
Pool Deck Drainage	1	LS	\$ 47,345.00	\$ 47,345.00
Concrete Slab w/Pool Topping	23762	SF	\$ 13.65	\$ 324,351.30
8' Black Vinyl Fencing	925	LF	\$ 31.50	\$ 29,137.50
Landscape Allowance	1	LS	\$ 7,875.00	\$ 7,875.00
Irrigation Allowance	1	LS	\$ 3,675.00	\$ 3,675.00
Pool Lighting	1	LS	\$ 150,195.00	\$ 150,195.00
Locker Room Building	700	SF	\$ 561.75	\$ 393,225.00
Lap Pool	4048	SF	\$ 152.25	\$ 616,308.00
Feature/Leisure Pool	9691	SF	\$ 152.25	\$ 1,475,454.75
Water Play Tower	1	LS	\$ 94,500.00	\$ 94,500.00
Fountain	1	LS	\$ 63,000.00	\$ 63,000.00
				\$ 3,290,031.75

SITE FURNISHINGS

Bike Racks	10	EA	\$ 675.00	\$ 6,750.00
Tables/Chairs/Umbrella	10	EA	\$ 1,890.00	\$ 18,900.00
Lounge Chairs	60	EA	\$ 262.50	\$ 15,750.00
Shade Structures	1200	SF	\$ 15.75	\$ 18,900.00



Aquatic Center

SITE DEVELOPMENT COST

Sediment & Erosion Control	1 LS	\$	2,300.00	\$	2,300.00
Clear & Grub	1 AC	\$	10,075.00	\$	10,075.00
Earthwork (Strip Topsoil)	380 CY	\$	5.80	\$	2,204.00
Earthwork (Cut to Fill)	50 CY	\$	5.85	\$	292.50
Earthwork (Pond Excavation)	2262 CY	\$	11.40	\$	25,786.80
Storm Pipe	300 LF	\$	76.75	\$	23,025.00
Drainage Structures	5 EA	\$	2,970.00	\$	14,850.00
8" Gravity Sewer	750 LF	\$	66.00	\$	49,500.00
Sewer Manhole	3 EA	\$	3,550.00	\$	10,650.00
Stabilized Subgrade LBR40 12" Thick	1578 SY	\$	8.50	\$	13,413.00
Limerock Or Crushcrete Base 6" Thick	1431 SY	\$	14.55	\$	20,821.05
Asphalt Type SP-9.5 1.5" Thick	1431 SY	\$	16.40	\$	23,468.40
Concrete Curb & Gutter	662 LF	\$	23.25	\$	15,391.50
Concrete Sidewalk	2250 SF	\$	4.60	\$	10,350.00
Pavement Striping (Traffic Paint)	1 LS	\$	785.00	\$	785.00
Accessible Parking Space (signage & striping)	1 EA	\$	370.00	\$	370.00
ADA Detectable Warning	10 SF	\$	43.00	\$	430.00
Site Lighting (Parking Lot)	1 LS	\$	58,985.00	\$	58,985.00
Bahia Sod (Pond & Parking Lot Areas)	2100 SY	\$	3.95	\$	8,295.00
				\$	290,992.25
SUBTOTAL				\$	3,581,024.00
General Conditions/Mobilization (10%)				\$	358,102.40
Landscape (5%)				\$	179,051.20
Contingency (15%)				\$	537,153.60
TOTAL				\$	3,939,126.40

SITE

It is assumed that there is a minimum of 2.5 acres of uplands (no wetlands that would require permitting or mitigation) that are accessible directly off a paved, public or park roadway. Furthermore, for the purposes of this estimate, it is assumed the project site is undeveloped, generally flat, 50% grass and 50% wooded, and that no imported fill dirt would be required.

Aquatic Center

GEOTECHNICAL

It is assumed that subsurface conditions will consist of very loose to medium dense sandy soils including fine sands, fine sands with silt or clay, and clayey fine sand (SP, SP-SM, SP-SC, and SC). Groundwater is assumed to be within 3 feet of the existing ground surface. Site specific explorations should be conducted for structures with individual column loads greater than 200 kips and bearing wall loads greater than 8 lbs per lineal foot to confirm that total and differential settlements will be tolerable.

UTILITIES

It is assumed municipal water and sanitary sewer is available and adjacent to the site. The base estimate includes 750 L.F. of 8" PVC (DR-18) water line with a double check backflow preventer, 200 L.F. of 2" PVC with a reduced pressure backflow preventer, 3 precast concrete sanitary manholes, and 750 L.F. of 8" PVC gravity sewer. It is also assumed electrical service is available and adjacent to the site with sufficient capacity to supply the Aquatic Center and parking lot lighting.

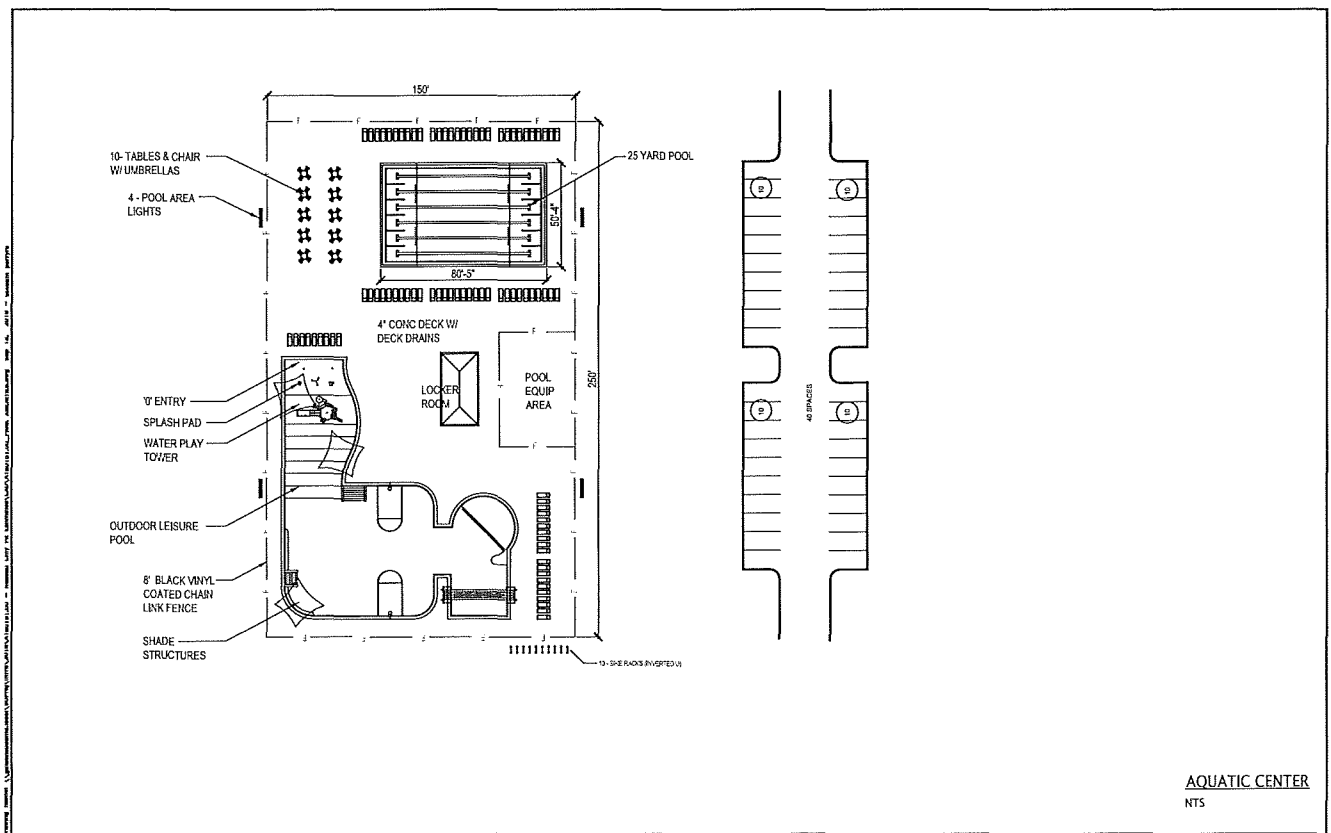
GRADING & DRAINAGE

Storm water runoff will be directed to precast concrete drain inlets where it is conveyed through reinforced concrete pipe ranging from 15" to 24" in diameter. Runoff will be collected in a storm water management system sized to 20% of the project area where it will be treated and attenuated prior to being discharged into the receiving water body. It is assumed the site lies in FEMA Flood Zone 'X'. No flood compensation will be required for the construction of the facility.

INFRASTRUCTURE

This will include a paved parking lot with sidewalk connectivity to the Aquatic Center. The parking lot will provide 40 spaces with accessible parking as required to meet accessibility code. The parking lot will be constructed of 1.5" asphalt over 6" aggregate base over 12" stabilized subgrade and will be lighted. The sidewalk will be 5 feet wide and 4" thick unreinforced concrete. The parking lot will be designed with 18" standard concrete curb throughout.

Aquatic Center Amenity Improvements



Walking/Fitness Trail

Walking/Fitness Trail

ASSUMPTIONS AND CLARIFICATIONS

The information being provided is based on developing a single facility reflecting best practices, appropriately sized, and designed and built to present-day standards. The trail will be a 6' wide, ¼ mile long, paved surface with approximately 12 exercise stations located adjacent to but offset from the trail. The pricing includes the basic construction of the concrete trail and an a la carte menu of site furnishing (lighting, exercise equipment, benches, signage, trash receptacles, bike racks). Also included is an average per acre cost for the construction of support facilities, i.e. site drainage, retention ponds, parking, sidewalks, etc. Also include are alternate surfacing options for the trail. Pricing of these facilities does not include land costs.

TRAIL CONSTRUCTION

Description	Qty	Unit	Unit Cost	Total Cost
<u>Trail Surface - Basis of Design</u>				
Fitness Trail Paving - 4" Concrete	2640	SY	\$ 37.60	\$ 99,264.00
Sod Disturbed Areas (Bahia Sod Ea Side)	8800	SY	\$ 3.65	\$ 32,120.00
Stabilized Base	2935	SY	\$ 11.65	\$ 34,192.75
				<u>\$ 165,576.75</u>
General Conditions 10%	1	LS	\$ 16,557.68	\$ 16,557.68
				<u>\$ 182,134.43</u>

SITE FURNISHINGS

Site Lighting (Safety Lighting)	1	LS	\$ 193,495.00	\$ 193,495.00
Exercise Equipment Stations	4	EA	\$ 6,930.00	\$ 27,720.00
Bench	1	EA	\$ 1,150.00	\$ 1,150.00
Signage	1	EA	\$ 1,025.00	\$ 1,025.00
Trash Receptacle	1	EA	\$ 1,900.00	\$ 1,900.00
Bike Racks	1	EA	\$ 675.00	\$ 675.00
Conc Slab 4" Thk for Benches & Exercise Sta	2043	SF	\$ 6.25	\$ 12,768.75

ALTERNATE TRAIL SURFACES

Fitness Trail Asphalt S-III 1" Thk	2640	SY	\$ 30.00	\$ 79,200.00
Stabilized Subgrade LBR 40 12" Thick	3226	SY	\$ 11.05	\$ 35,647.30
Limerock Base 4" Thick	2935	SY	\$ 16.70	\$ 49,014.50
				<u>\$ 163,861.80</u>
Fitness Trail Wood Fiber W/Fabric	2640	SY	\$ 10.10	\$ 26,664.00
Commercial Grade Black Edging	7920	LF	\$ 1.95	\$ 15,444.00
				<u>\$ 42,108.00</u>



Walking/Fitness Trail

SITE

It is assumed the trail would be placed on park land as part of a larger project rather than a standalone project. Basically, in the configuration of a loop this would require approximately 25 acres. The profile of the trail would be 6 feet wide, plus a 5' wide level shoulder on each side, and 6:1 side slopes to a swale bottom on either side of the trail. So, the profile of the trail, shoulders and swales would be around 34', times the length of 3,960 L.F., it would take about 5 acres of uplands (no wetlands that would require permitting or mitigation) that are accessible directly off a paved, public or park roadway. Furthermore, for the purposes of this estimate, it is assumed the project site is undeveloped, generally flat, 50% grass and 50% wooded, and that no imported fill dirt would be required.

GEOTECHNICAL

It is assumed that subsurface conditions will consist of very loose to medium dense sandy soils including fine sands, fine sands with silt or clay, and clayey fine sand (SP, SP-SM, SP-SC, and SC). Groundwater is assumed to be within 3 feet of the existing ground surface.

UTILITIES

It is assumed municipal water is available and adjacent to the site with adequate flow and pressure. The base estimate includes 500' of 1" PVC water line with a backflow preventer to supply water for a drinking fountain/bottle filler. It is also assumed electrical service is available and adjacent to the site with sufficient capacity for security and parking lot lighting.

GRADING & DRAINAGE

The trail will be elevated 1.5 feet and be graded to sheet drain storm water off the trail and shoulders into the swales on either side of the trail. Storm water runoff in the swales will be directed to 20 Nyloplast yard drains, set about 400' apart, where it is conveyed through PVC storm pipe. Runoff will be collected in a storm water management system sized to 20% of the project area where it will be treated and attenuated prior to being discharged into the receiving water body. It is assumed the site lies in FEMA Flood Zone 'X'. No flood compensation will be required for the construction of the Walking/Fitness Trail.

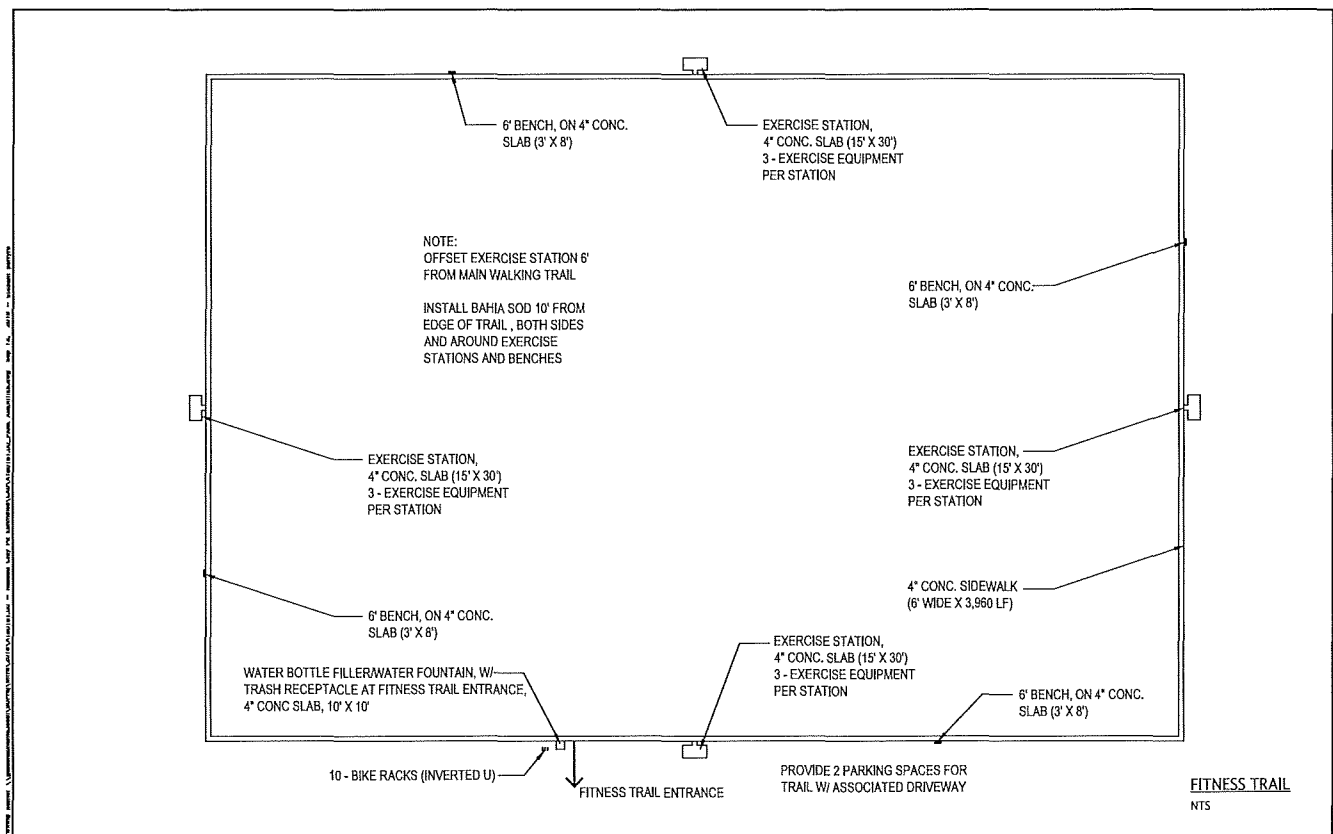
SITE SUPPORT

This will include a paved parking lot with sidewalk connectivity to the bleachers. The parking lot will provide 5 spaces with accessible parking as required to meet accessibility code. The parking lot will be constructed of 1.5" asphalt over 6" aggregate base over 12" stabilized subgrade. The sidewalk will be 5 feet wide and 4" thick unreinforced concrete. The parking lot will be designed with 18" standard concrete curb throughout.

SITE DEVELOPMENT COST APPROXIMATELY \$ 130,000 PER ACRE*

*See Appendix for site dev. cost breakdown.

Walking/Fitness Trail Amenity Improvements



Appendix

SITE DEVELOPMENT COSTS (based on 16.5 acres)

Field Development					
Sediment & Erosion Control	1	LS	\$	3,945.00	\$ 3,945.00
Clear & Grub	12.5	AC	\$	5,600.00	\$ 70,000.00
Earthwork (Strip Topsoil)	9900	CY	\$	5.25	\$ 51,975.00
Earthwork (Cut To Fill)	1700	CY	\$	5.30	\$ 9,010.00
Storm Pipe	1642	LF	\$	56.00	\$ 91,952.00
Drainage Structures	7	EA	\$	3,680.00	\$ 25,760.00
Fill (12" Deep - 80:20 Mix)	11555	CY	\$	82.50	\$ 953,287.50
Concrete Sidewalk	18794	SF	\$	4.25	\$ 79,874.50
					\$ 1,285,804.00
Infrastructure					
Sediment & Erosion Control	1	LS	\$	2,300.00	\$ 2,300.00
Clear & Grub	4	AC	\$	5,600.00	\$ 22,400.00
Earthwork (Strip Topsoil)	1305	CY	\$	5.25	\$ 6,851.25
Earthwork (Cut to Fill)	400	CY	\$	5.30	\$ 2,120.00
Earthwork (Pond Excavation)	25600	CY	\$	8.10	\$ 207,360.00
Storm Pipe	190	LF	\$	93.00	\$ 17,670.00
Drainage Structures	5	EA	\$	2,975.00	\$ 14,875.00
Water Distribution System 1" PVC	1000	LF	\$	17.95	\$ 17,950.00
Stabilized Subgrade LBR40 12" Thick	6004	SY	\$	8.50	\$ 51,034.00
Limerock Or Crushcrete Base 6" Thick	5492	SY	\$	14.65	\$ 80,457.80
Asphalt Type SP-9.5 1.5" Thick	5492	SY	\$	16.40	\$ 90,068.80
Concrete Curb & Gutter	2304	LF	\$	18.30	\$ 42,163.20
Concrete Sidewalk	2160	SF	\$	4.25	\$ 9,180.00
Pavement Striping (Traffic Paint)	1	LS	\$	2,350.00	\$ 2,350.00
Accessible Parking Space (signage & striping)	4	EA	\$	370.00	\$ 1,480.00
ADA Detectable Warning	40	SF	\$	43.00	\$ 1,720.00
Site Lighting (Parking Lot)	1	LS	\$	130,990.00	\$ 130,990.00
Bahia Sod (Pond & Parking Lot Areas)	6000	SY	\$	3.85	\$ 23,100.00
					\$ 724,070.05
					\$ 2,009,874.05
General Conditions 10%	1	LS	\$	200,987.41	\$ 200,987.41
					\$ 2,210,861.46

Appendix

PLAYGROUND REQUIREMENTS

Florida Building Code requirements in a public playground area should meet the following:

Playground equipment must be IPEMA certified (unless otherwise noted). The use and layout of the components needs to conform to the requirements of ASTM F1487. Safety surfacing to comply with ASTM F1292. Accessible route of travel per ASTM F1951.

Shade structure equipment must meet current Florida Building Code requirements.

Shade fabric must meet NFPA 701 (fire retardant).

Safety Surfacing must meeting ASTM F1292 Head Impact and ASTM F1951 Accessibility test.

If using mulch, surface must have ASTM F2075 Standard specification for wood fiber as a playground safety surfacing under and around playground equipment.

County Building Permit for Playground:

Provide signed and sealed engineered drawings of engineered foundations for playground equipment and shade structure by Florida licensed professional engineer for building permit application.

